

# \$535,000

**STONEWOOD**  
HOMES

Lot 199 Faringdon Green, Rolleston



## For Sale

House and Land Package

| Dwelling Size     | Section Size      |  |  |  |  |
|-------------------|-------------------|--|---|---|---|
| 160m <sup>2</sup> | 505m <sup>2</sup> | 4  | 1   | 2   | 2   |

This home features four bedrooms, master with walk-in robe and ensuite, open plan kitchen living and dining, family bathroom and internal access double garaging. Well appointed for the sun on an easy care landscaped section, offering quality fixtures and fittings throughout and finished to a high standard this design is sure to impress.

Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fastest growing area. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only for a short drive to central Rolleston with a shopping complex to cater all requirements.

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## Inclusions:

Quality cladding selections

1.98m internal door height

Bosch appliances

Norman Ellison carpets

Window coverings

Metal pressed tile roof

Windsor door hardware

Italian tapware

8.0kw heatpump

After care service

2.42m ceiling height

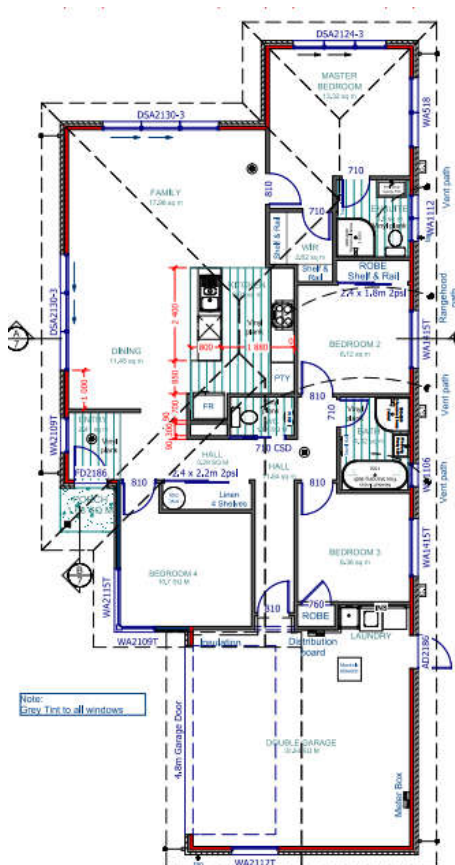
Designer kitchen

LED light fittings

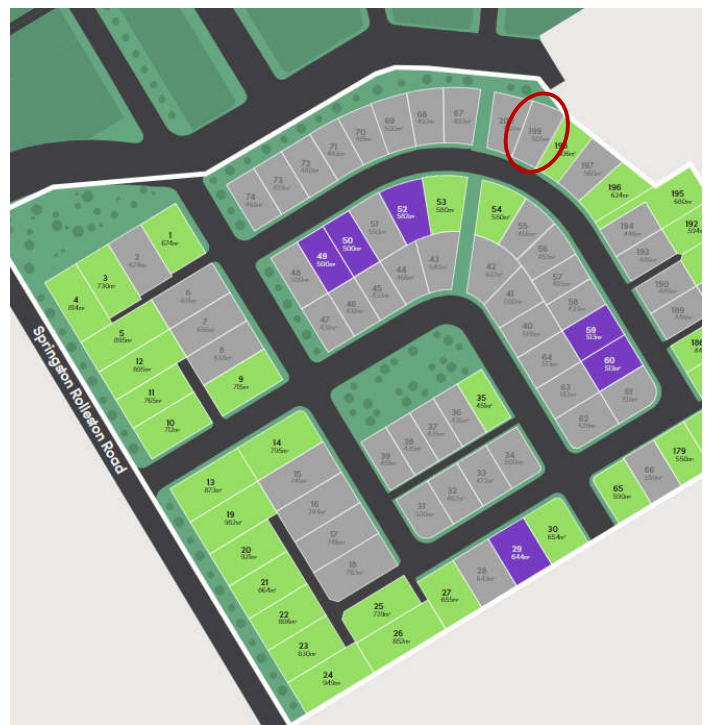
Fully landscaped

10 year Master Build guarantee

## Floor Plan:



## Location:



**Disclaimer:** This material is for the use of illustrative and guidance purposes. All efforts have been made by Stonewood Homes Christchurch to ensure the information correctly illustrates the dwelling however Stonewood Homes accept no responsibility for any variances which maybe become apparent once the build commences.

### GENERAL

|            |                                |
|------------|--------------------------------|
| Guarantee: | 10 year Master Build guarantee |
| Warranty:  | 365 day warranty period        |
| Insurance: | Builders risk insurance        |

### STRUCTURE

|                        |  |
|------------------------|--|
| Foundation/floor slab: | TC1 Ribraft  |
| Framing:               | 2.42m NZ5S 3602:2003 with building wrap – 90mm kiln dried pine |
| Trusses:               | Kiln dried pine  |
| Cladding (main):       | Brick – Midland Brick 70 series – Classic range                |
| Cladding (feature):    | James Hardie Linea   |

### ROOFING

|                    |                                     |
|--------------------|-------------------------------------|
| Roof:              | 25° Gerard metal pressed tile       |
| Downpipes:         | Colorsteel rectangular 75x55mm      |
| Fascia and gutter: | Dimond metal fascia and quad gutter |

### WINDOWS AND DOORS

|                   |  |
|-------------------|--|
| Entry door:       | APL 860mm Latitude with urbo lever           |
| Windows:          | Vantage aluminium joinery with urbo hardware |
| Garage door:      | Coloursteel flat panel woodgrain 4.5m        |
| Internal doors:   | 1980mm Everest (vertical V groove polycore)  |
| Wardrobe doors:   | MDF flush panel sliders                      |
| Window coverings: | Roller blinds excluding garage and bathrooms |

### INTERIOR LINING

|                       |   |
|-----------------------|---|
| Insulation:           | R2.4 wall batts, R4.0 ceiling batts excluding garage                  |
| Plasterboard:         | GIB board - 10mm to walls, aqualine to bathrooms and 13mm to ceilings |
| Gib stopping:         | Grade 4 paint finish in accordance with AS/NZ 2311:2009               |
| Gib external corners: | Gib square stop   |
| Painting:             | Resene Zylone   |
| Soffit linings:       | Hardiflex 4.5mm   |

### INTERIOR JOINERY

|                         |                                      |
|-------------------------|--------------------------------------|
| Internal door hardware: | Windsor Futura – Apex brushed nickel |
| Skirting:               | 60mm bevel                           |
| Wardrobe shelving:      | MDF shelf and rail                   |
| Cupboard shelving:      | MDF shelves x4                       |

## **KITCHEN AND LAUNDRY**

|                            |  |
|----------------------------|--|
| Kitchen and bench surface: | Kitchen cabinetry and sink with TriStone 12mm on negative detail |
| Tapware:                   | Paffoni Blu BLU180 high spout                                    |
| Oven:                      | Bosch HBF133BSOA – stainless steel oven                          |
| Hob:                       | Bosch PKE611CA1A – stainless steel cooktop                       |
| Dishwasher:                | Bosch SMU50E75AU – stainless steel dishwasher                    |
| Rangehood:                 | Bosch DWB97DM50A – stainless steel canopy                        |
| Laundry tub:               | Aquatica Estasi 560x560 LE6200                                   |

## **FLOORING**

|                 |                      |
|-----------------|----------------------|
| Carpet:         | Norman Ellison       |
| Vinyl planking: | Karndean Knightplank |

## **ELECTRICAL**

|                         |                          |
|-------------------------|--------------------------|
| Plugs / Light Fittings: | As per plan              |
| Heatpump:               | Fujitsu 8.0kw ASTG24LFCC |

## **BATHROOMS AND PLUMBING**

|                     |  |
|---------------------|--|
| Vanities:           | Raymor Brighton 750mm                        |
| Mirrors:            | 1000 x 750 x 4mm polished edge               |
| Toilets:            | Englefield Evora with standard seat          |
| Showers:            | Arena curved with moulded wall               |
| Bath:               | Newtech Indus back-to-wall freestanding bath |
| Tapware:            | Paffoni Blu BLU071                           |
| Shower slides:      | Paffoni Brio ZSAL194CR                       |
| Towel rails:        | Newtech 5 ladder square heated towel rail    |
| Extractors:         | Weiss Clearflow FV160                        |
| Hot water cylinder: | Rheem 250L                                   |
| Exterior taps:      | 2  |

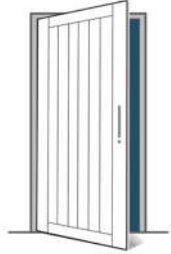
## **LANDSCAPING**

|                            |  |
|----------------------------|--|
| Driveway and patio:        | Exposed aggregate  |
| Vehicle crossing:          | Included   |
| Soft landscaping:          | Hydroseed and planting to street frontage  |
| Fencing:                   | 1.8m timber paling to side boundaries. 1.8m internal timber fencing to developers requirements including gate. |
| Letterbox and clothesline: | Urban box on post / Sun King folding frame   |

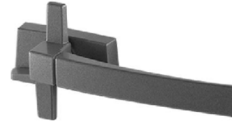
Roof profile



Front door



Window hardware



Garage door profile



Internal doors



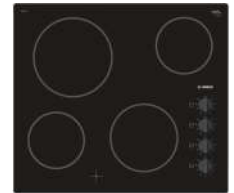
Internal door hardware



Oven



Ceramic cooktop



Rangehood



Dishwasher



Laundry tub



Kitchen tapware



Vanity



Showers



Bath



Basin mixers



Shower slides



Shower / bath mixers



Toilet



Towel rail





# Colour Scheme

Lot 199 Faringdon Green, Rolleston

**STONEWOOD**  
H O M E S

## EXTERIOR

|                              |                         |
|------------------------------|-------------------------|
| Roof:                        | Obsidian                |
| Fascia / Gutter / Downpipes: | Ebony                   |
| Window joinery:              | Ebony                   |
| Front door:                  | Ebony                   |
| Front door frame:            | Ebony                   |
| Garage door:                 | Ebony                   |
| Garage door frame:           | Ebony                   |
| Soffits:                     | Resene half black white |
| Exterior cladding (main):    | Ivory with ivory mortar |
| Exterior cladding (feature): | Resene All Black        |

## INTERIOR

|                               |   |
|-------------------------------|---|
| Ceilings:                     | Resene half black white                                   |
| Walls:                        | Resene black white  |
| Interior doors:               | Resene black white  |
| Skirting:                     | Resene black white  |
| Carpet:                       | Dalton - Woodland   |
| Vinyl plank:                  | Pale limed oak  |
| Kitchen cabinetry:            | Melteca - Snow drift                                      |
| Kitchen benchtop:             | TriStone 12mm – Pure white on black pearl negative detail |
| Tiles (kitchen splashback):   | White tile (100x300mm) with mid-night grout               |
| Aluminium wardrobe surrounds: | White   |

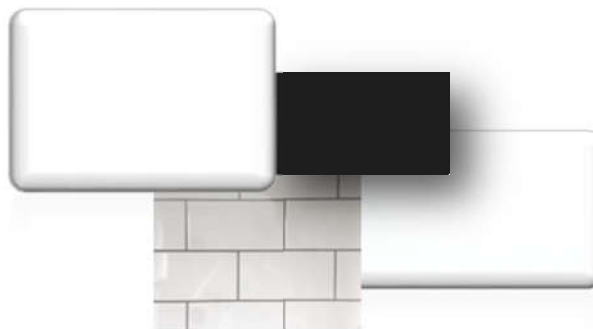
### Exterior:



### Interior:

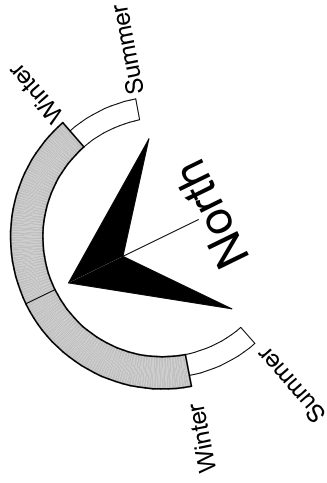


### Kitchen:



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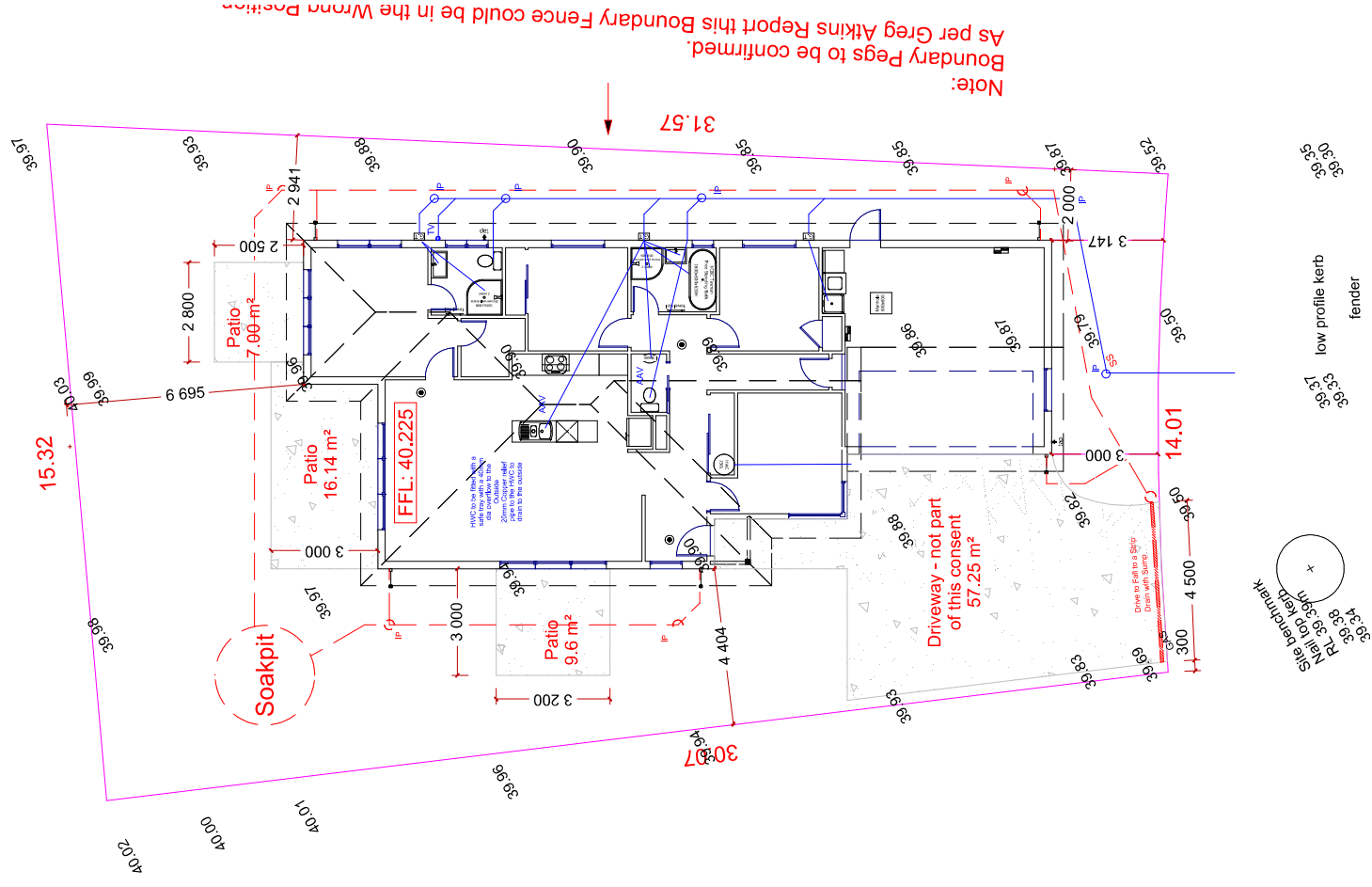


| LEGEND        |      |
|---------------|------|
| LEGEND.       |      |
| Sewer Pipe    | ---  |
| S/W Pipe      | ---- |
| Down Pipe     | DP   |
| Gully Trap    | GT   |
| Terminal Vent | TV   |

| SITE PLAN NOTES  |  |
|--|--|
| Refer to Drainage Plan for specific drainage information                         |  |
| Refer to sediment control plan in specification and implement where required.    |  |
| Driveway and Sump not part of this building consent                              |  |
| Convey surface water from sealed drive areas to an appropriate approved outfall. |  |
| Dimensions are shown to cladding face  |  |

| SITE INFORMATION |                     |
|------------------|---------------------|
| Zone             | A                   |
| Wind             | High                |
| Earthquake       | 2                   |
| Durability       | C                   |
| Snow             | As Per Truss Design |

| BUILDING AREA AND SITE COVERAGE |                      |
|---------------------------------|----------------------|
| Net Site Area =                 | 505m <sup>2</sup>    |
| Building Area (O/V) =           | 161.51m <sup>2</sup> |
| (Includes covered areas)        |                      |
| Max Site Coverage Allowed:      | 00%                  |
| Actual Site Coverage=           | 31.98%               |



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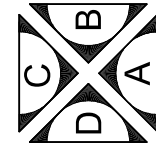
Stonewood Homes  
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Client :  
RW 2020 Ltd  
Proposed Dwelling at:  
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19 Tobollie Drive  
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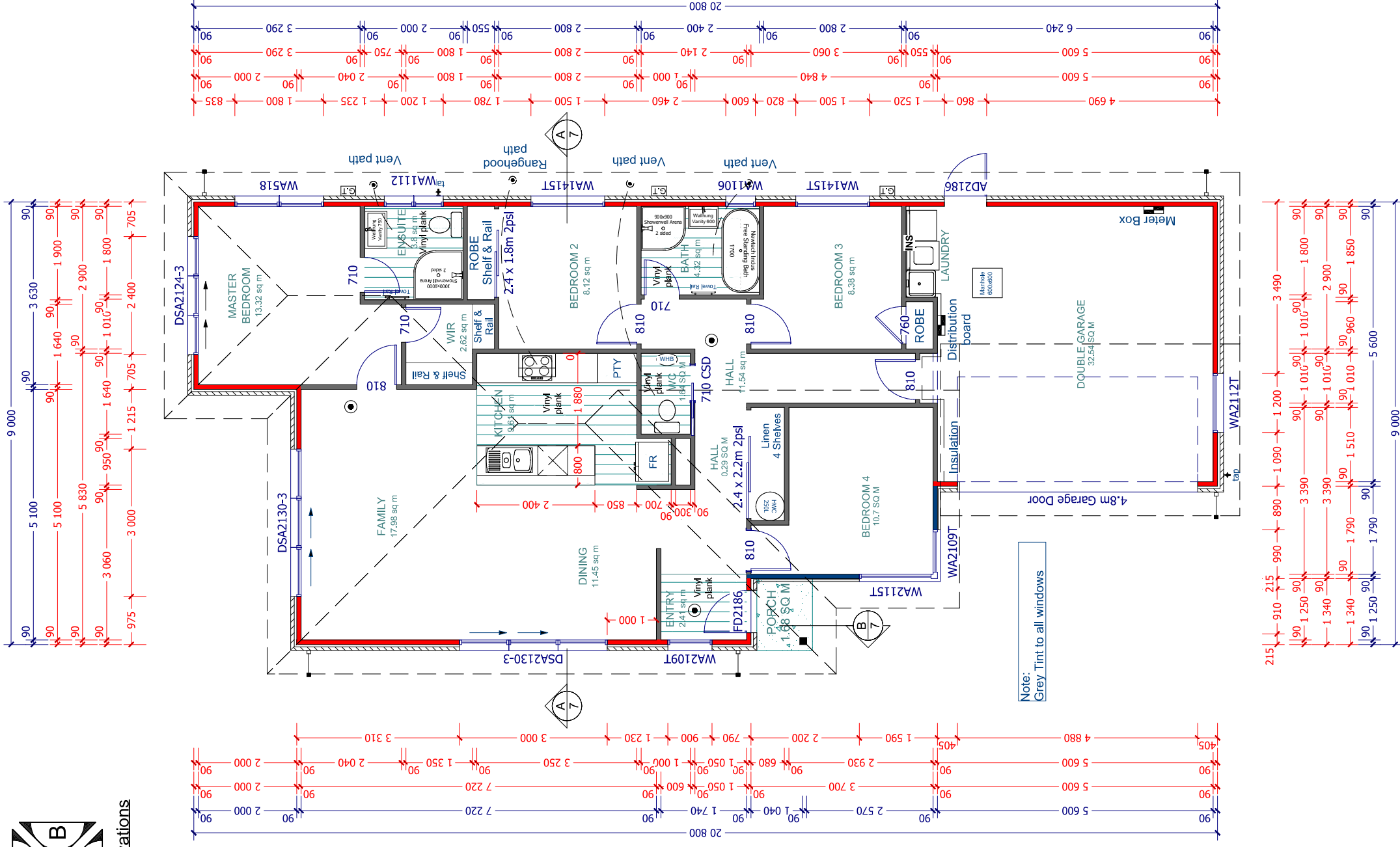
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| SITE PLAN         |                 |             |
|-------------------|-----------------|-------------|
| Drawn By          | Checked By      | LBP #       |
| Isha              | Jeremy Harrison | 105491      |
| Standard Plan     | Print Date      | Scale at A3 |
| Chester 162 Gable | 24/06/2020      | SHC 1:200   |
| Job Number        | Version         | Revision    |
| 190072            | A               | 7           |
| Version:          | Sheet           |             |
| CONSENT           | 2               |             |
|                   | OF              |             |
|                   | 14              |             |

Signed: \_\_\_\_\_ Date: \_\_\_\_\_



Key To Elevations



Note:  
Grey Tint to all windows

| ROOF & WALL CLADDING |   |
|----------------------|---|
| Roof -               | 25° Pressed Metal Tile Roof Profile     |
| Walls -              | 70 Series Brick Veneer on a 60mm Cavity |
| Feature -            | Hardies Smoothboard on a 20mm Cavity    |

| BUILDING AREA |  |
|---------------|--|
| AREA:         | 152.95 m <sup>2</sup> O/F (Perimeter: 59.60m)                  |
| AREA:         | 159.83 m <sup>2</sup> O/V (Perimeter: 60.56m)                  |
| AREA:         | 161.51 m <sup>2</sup> (incl Covered Area 1.68 m <sup>2</sup> ) |
| AREA:         | 190.34 m <sup>2</sup> Roof(Perimeter: 64.10m)                  |

| WINDOW SCHEDULE |     |
|-----------------|-----|
| LABEL           | QTY |
| WA518           | 1   |
| WA1106          | 1   |
| WA1112          | 1   |
| WA1415T         | 2   |
| WA2109T         | 2   |
| WA2112T         | 1   |
| WA2115T         | 1   |
| DSA2124-3       | 1   |
| DSA2130-3       | 2   |

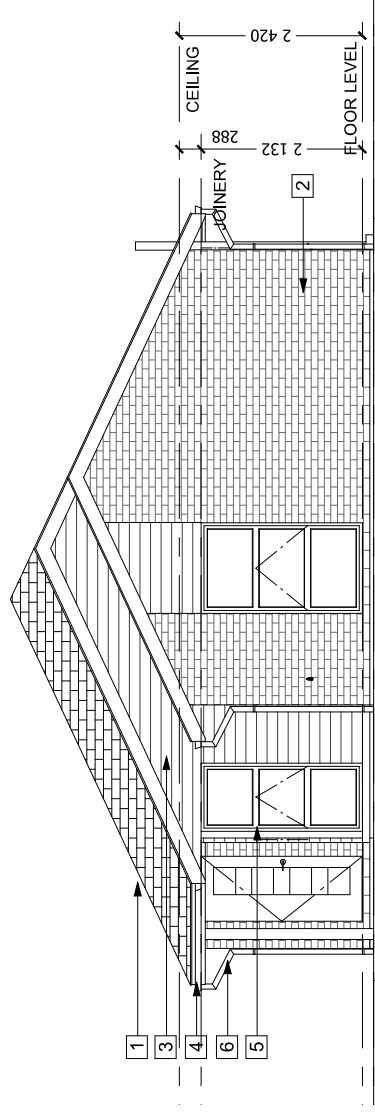
| DOOR SCHEDULE    |     |
|------------------|-----|
| LABEL            | QTY |
| 710              | 3   |
| 760              | 1   |
| 710 CSD          | 1   |
| 810              | 5   |
| 2.4 X 2.2M 2PSL  | 1   |
| FD2186           | 1   |
| AD2186           | 1   |
| 2.4 X 1.8M 2PSL  | 1   |
| 4.8M GARAGE DOOR | 1   |

| GENERAL FLOOR PLAN NOTES               |  |
|--|--|
| <b>SMOKE ALARMS</b>                    | Smoke Alarms to be fitted within 3.0m of sleeping areas and on Escape routes, as indicated on plan. Refer to Construction Schedule (Page 2 & 3) in the Specification for more information.   |
| <b>MISCELLANEOUS:</b>                  | Dimensions shown are to the frame, GIB thickness not shown. Refer to Construction Schedule (Page 2 & 3 of Specification) for additional construction information. Entry through external doors Mechanical ventilation Air Seals to have PEF rod & low expansion foam All windows and doors centered in room unless shown otherwise |
| <b>FOUNDATION SYSTEM</b>               | TC1 Rib Raft Foundation Design   |
| <b>WALL FRAMING</b>                    | -designed to high wind zone  |
| <b>Stud Height:</b>                    | 2420 mm  |
| <b>Exterior Walls:</b>                 | 90x45mm studs @ 600 mm crs   |
| <b>Interior Loadbearing wall:</b>      | 90x45mm studs @ 600 mm crs   |
| <b>Dwangs Ext:</b>                     | 90x45 @ 800 crs  |
| <b>Non loadbearing:</b>                | 90x45mm studs @ 600 mm crs   |
| <b>Dwangs Int:</b>                     | 90x45mm @ 800mm crs  |
| <b>LINTELS AND BEAMS</b>               | Lintels and beams can be found on the Truss Design   |
| <b>BUILDING WRAP</b>                   | Watergate Building Wrap, refer to manufacturers specifications attached  |
| <b>DOORS</b>                           | Internal Height: 1980  |
| <b>INSULATION</b>                      | Wall - Pink Batts R2.4 Wall Batts Ceiling - Pink Batts R4.0 Ceiling Batts  |
| <b>WALL AND CEILING LININGS</b>        | Wall - Standard 10mm GIB (unless required for bracing) Ceiling - Standard 13mm GIB Bathroom - 13mm GIB Aqualine (bathrooms) Corner Finish - Square   |
| <b>FLOOR FINISHES</b>                  | Carpet, Vinyl Plank  |
| <b>INTERIOR AND EXTERIOR JOINERY</b>   | Joinery - Double Glazed Vantage Shelf and rail to wardrobes Interior - Standard Aluminium Joinery  |
| <b>WATER HEATING</b>                   | Electric Hot water system  |
| <b>KITCHEN COOKTOP</b>                 | Electric Hobb  |
| <b>ROOF CLADDING AND STRUCTURE</b>     | Metal Tile - Battens: 50x40 H1.2 @ 370crs  |
| <b>GUTTER/FASCIA/DOWNPIPES/SOFFITS</b> | Gutter - Dimond Quad Gutter Fascia - Dimond 185 Fascia Downpipes - 75x55mm Coloursteel Soffits - Hardiflex 4.5mm   |

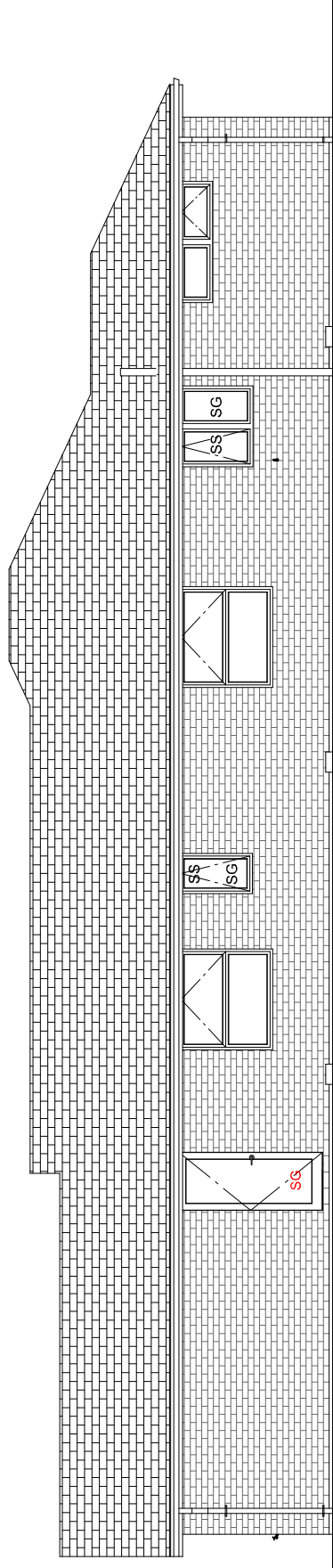
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|---|--|--|--|
| <b>STONEWOOD HOMES</b>  |  | Client :<br>RW 2020 Ltd  |  |
| Stonewood Homes<br>1B, Level 1, 303 Blenheim Rd<br>Upper Riccarton, Christchurch 8041,<br>New Zealand<br>Phone: +64 3 354 2344<br>Fax: +64 3 354 2342<br>Email: info@stonewood.co.nz<br>Website: www.stonewood.co.nz  |  | Proposed Dwelling at:<br>Lot 199 Dp 540718<br>19 Tobollie Drive<br>Rolleston |  |
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| Signed:   |  | Date:  |  |
| Drawn By<br><b>Isha</b>   |  | Checked By<br><b>Jeremy Harrison</b>   |  |
| Standard Plan<br><b>Chester 162 Gable</b>   |  | Print Date<br><b>24/06/2020</b>  |  |
| Job Number<br><b>190072</b>   |  | Scale at A3<br><b>1:100</b>  |  |
| Version<br><b>A</b>   |  | Revision<br><b>7</b>   |  |
| Sheet<br><b>3</b>   |  | OF<br><b>14</b>  |  |



**Building Height: 4.954m to F.G.L.**



**A**  
4  
**ELEVATION A**  
1:100



**B**  
4  
**ELEVATION B**  
1:100

**GENERAL ELEVATION NOTES**

Air Barrier to unlined wall and gables, refer to the Construction Schedule in the Specification for type.  
This sheet to be read in conjunction with the Risk Matrix in specification.  
Driveway to fall from 20mm max below garage rebates (By Others).

Key  
SS: Security Stay  
SG: Safety Glass

**LEGEND**

- 1 - Corrugated Colorsteel Profile
- 2 - 70 Series Brick over 60mm cavity
- 3 - Hardies Smoothboard
- 4 - Dimond Fascia and Gutter System
- 5 - Aluminum Joinery
- 6 - Colorsteel Downpipe's
- 7 - Meter Box
- 8 - Outdoor Heatpump Unit
- 9 - Terminal Vent

|                   |                 |            |            |
|-------------------|-----------------|------------|------------|
| Signed:           |                 | Date:      |            |
| <b>ELEVATIONS</b> |                 |            |            |
| Drawn By          | Checked By      | LBP #      | 105491     |
| Isha              | Jeremy Harrison | Print Date | 24/06/2020 |
| Standard Plan     | Sales           | SHC        | 1:100      |
| Chester 162 Gable | Version         | Revision   | 7          |
| Job Number        | 190072          | A          | 4          |
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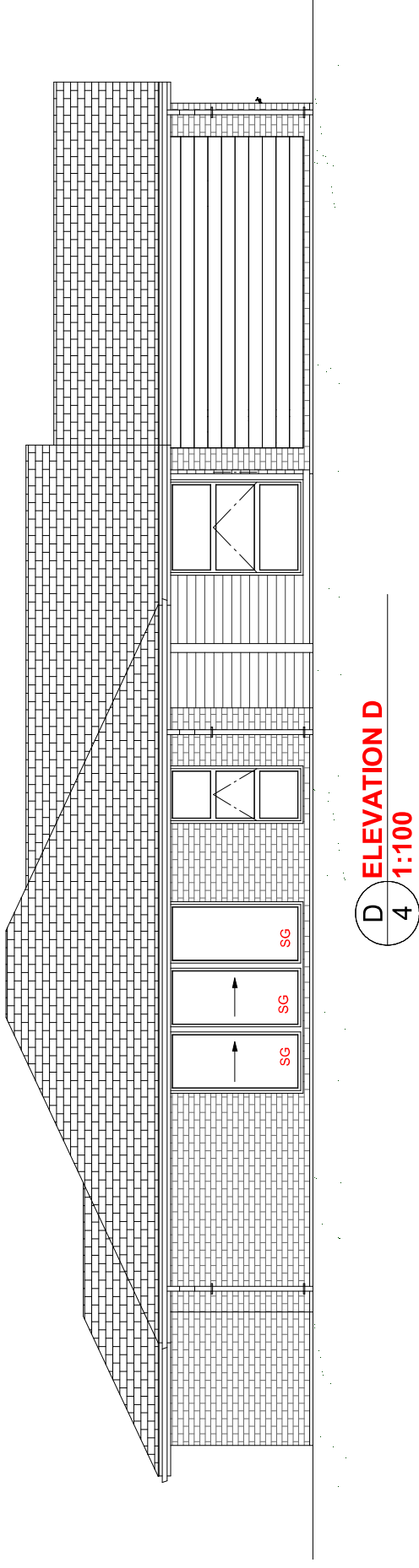
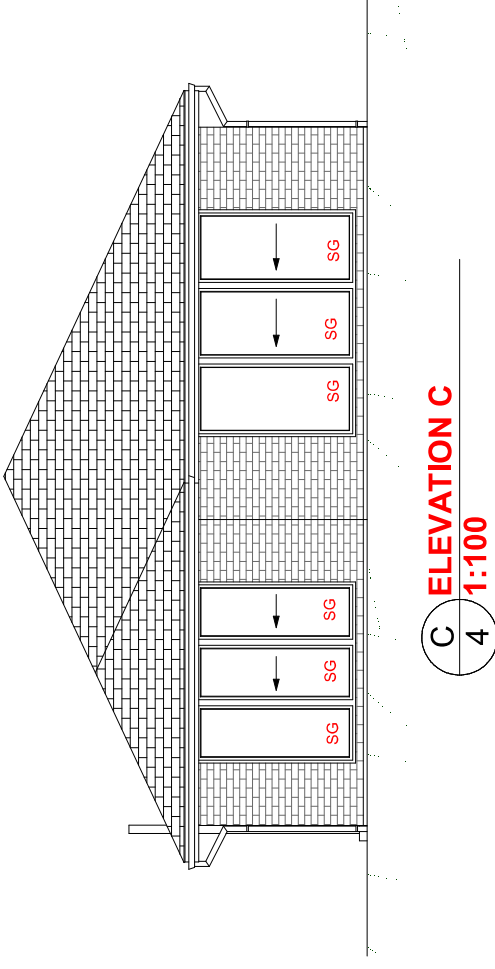
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| LEGEND |                                  |
|--------|----------------------------------|
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| 3 -    | Hardies Smoothboard              |
| 4 -    | Dimond Fascia and Gutter System  |
| 5 -    | Aluminium Joinery                |
| 6 -    | Colorsteel Downpipe's            |
| 7 -    | Meter Box                        |
| 8 -    | Outdoor Heatpump Unit            |
| 9 -    | Terminal Vent                    |



| ELEVATIONS                                |                                      |                             |
|---|--------------------------------------|-----------------------------|
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| Job Number<br><b>190072</b>               | Sales<br><b>SHC</b>                  | Revision<br><b>7</b>        |
|   | Version<br><b>A</b>                  | Sheet<br><b>5</b>           |
| Version:<br><b>CONSENT</b>                |                                      | OF<br><b>14</b>             |

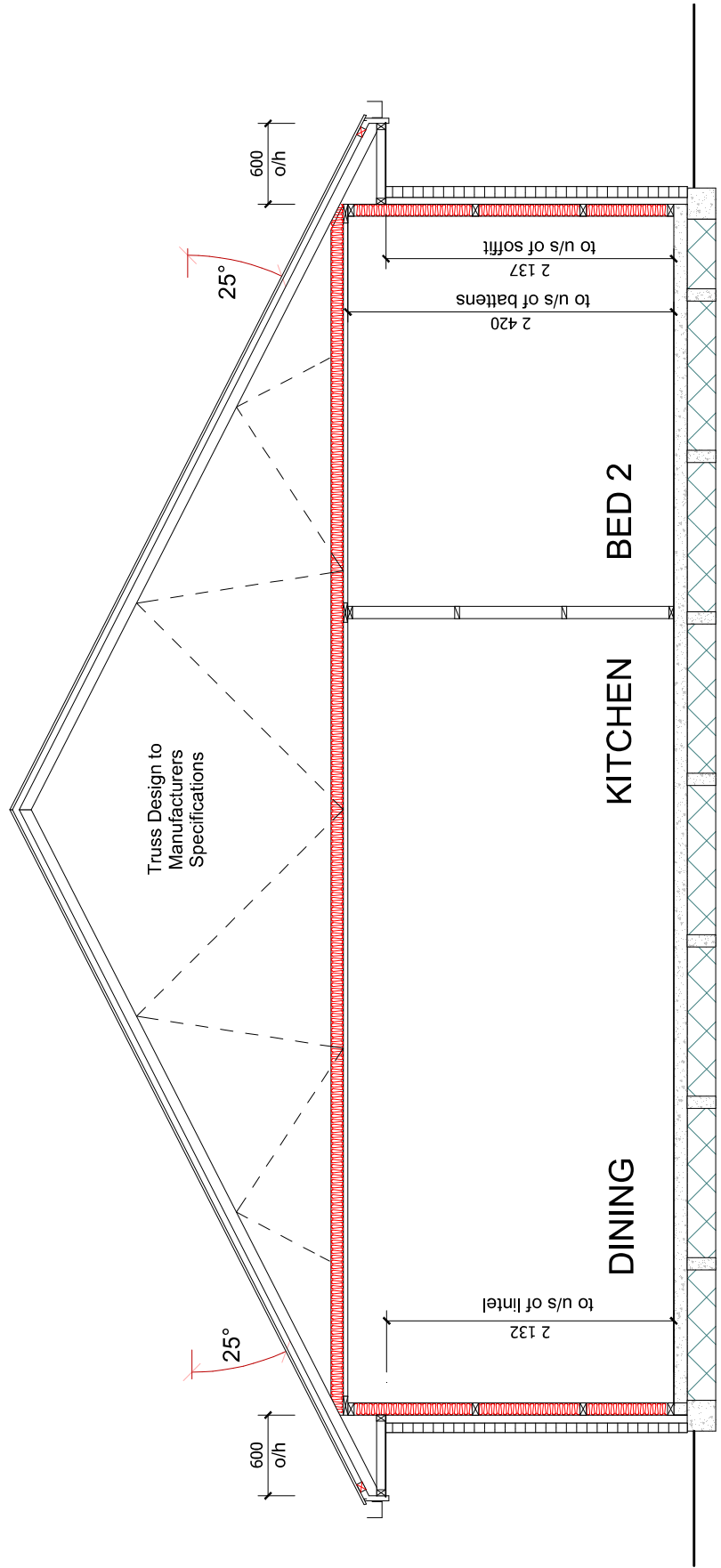
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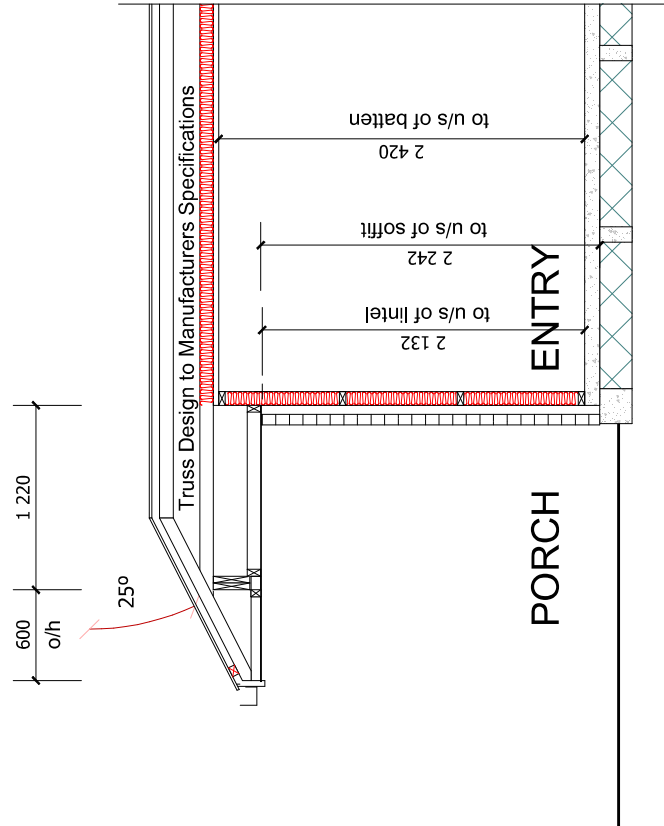
| LEGEND   |   |
|--|---|
| Refer to the Construction Schedule (Page 2 & 3) in the Specification for sizing of Building Elements. General Notes: |   |
| 1 -  | Pressed Metal Tile roofing by Gerard on self supporting ThermoKraft 215 roof underlay on Metal Tile - Battens: 50x40 H1.2 @ 370crs 2/90x3.15 Gun Nails Fixings to be used.  |
| 2 -  | Dimond fascia & quad gutter system with 4.5mm Hardies soffit lining on 70x35mm H1.2 eaves bearers on edge fixed to ribbon board.  |
| 3 -  | 4.5mm Hardies Soffit lining   |
| 4 -  | 13mm Standard GIB ceiling lining to underside of Rondo metal ceiling battens @ 600 crs with R4.0 Pink Battis insulation.  |
| 5 -  | 70 Series Brick Veneer on a 50mm cavity (refer to specification) Watergate Plus building wrap on stud framing with R2.4 Pink Battis insulation & 10mm Std. GIB wall lining (Aqualine to wet areas).   |
| 6 -  | Hardies Smooth Weatherboard with 20mm cavity (refer to manufacturers details). Watergate Plus building wrap on stud framing with R2.4 Pink Battis insulation & 10mm Std. GIB wall lining (Aqualine to wet areas).   |
| 7 -  | Bottom Plate fixings: Lumberlok bottom plate fixing anchors as per manufacturers spec's @ 900mm crs on all external walls and within 150mm of each end of the plate. 75mmx4mm dia shot fired fasteners @ 600mm crs and within 150mm of each end of the bottom plate to interior load bearing walls. DPC between bottom plate & floor slab (Refer to Mi Tek spec's attached for specific bottom plate fixing details required for bracing lintels) |
| 8 -  | Studs 90x45 @ 600crs SG8, Dwangs @ 800crs. (exterior walls) unless otherwise stated   |
| 9 -  | Studs 90x45 @ 600crs SG8, Dwangs @ 800crs. 2 min. (interior loadbearing & non-loadbearing walls) unless otherwise stated  |
| 11 -   | Firth RibRaft Foundation Design   |



refer to specific foundation detail

**A-A SECTION A-A**  
4 1.50

refer to specific foundation detail



refer to specific foundation detail

**B SECTION B**  
4 1.50

|   |
|---|
| <b>PROTECTION OF FIXINGS</b>  |
| Fixings shall comply with NZS 3604:2011 Section 4 Durability Tables 4.1-4.3                               |
| <b>CONCRETE STRENGTH</b>  |
| All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2                                |
| <b>TIMBER GRADE</b>   |
| Timber members specified on these drawings are to be a minimum of SG8 strength graded as per NZS3604:2011 |

| CROSS SECTION     |                 |
|-------------------|-----------------|
| Drawn By          | Checked By      |
| Isha              | Jeremy Harrison |
| Standard Plan     | Print Date      |
| Chester 162 Gable | 24/06/2020      |
| Job Number        | Version         |
| 190072            | A 7             |
| Sheet             | Revision        |
| 6                 | 7               |
| OF                | Version:        |
| 14                | <b>CONSENT</b>  |

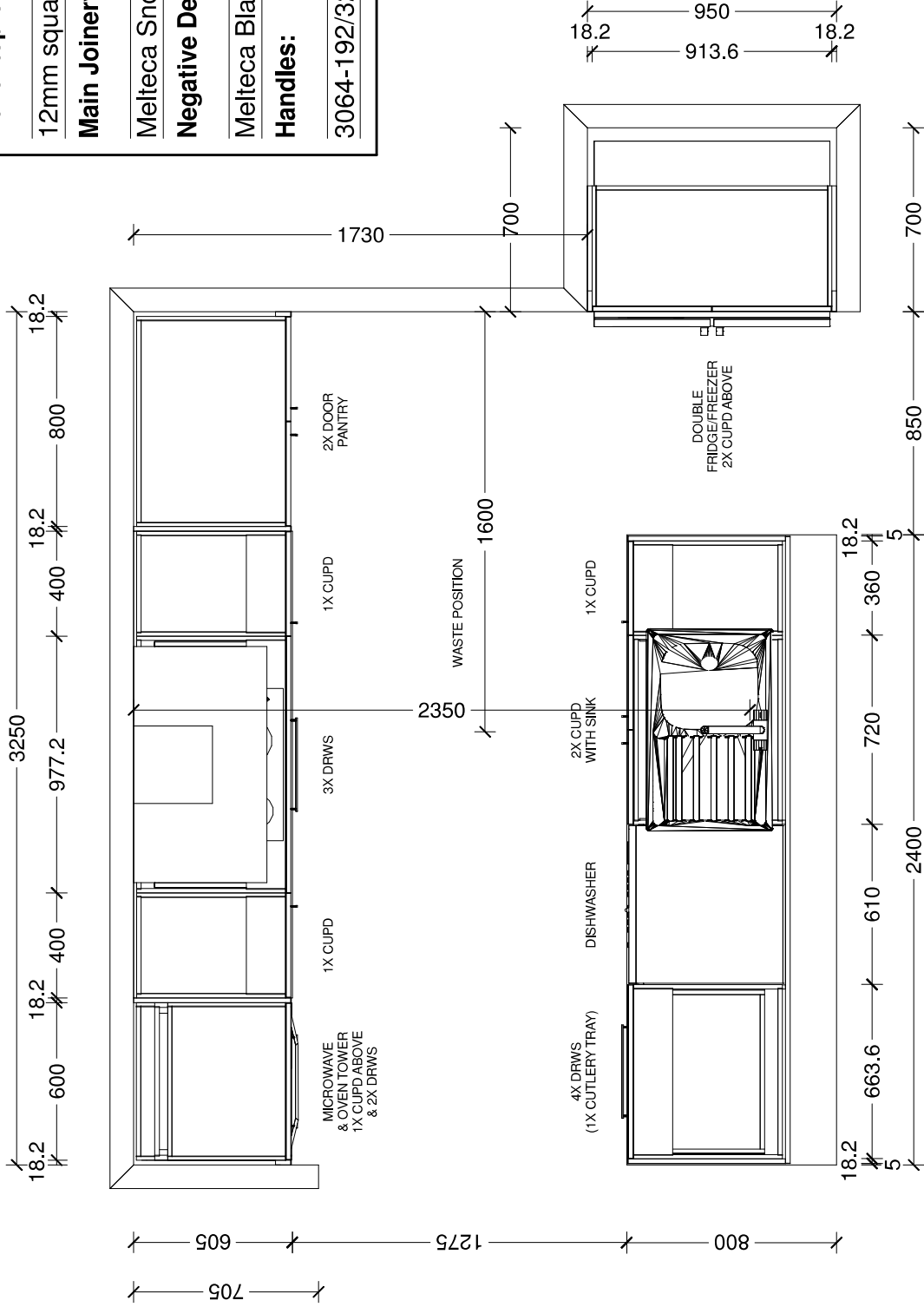
Client :  
RW 2020 Ltd  
Proposed Dwelling at:  
Lot 199 Dp 540718  
19 Tobollie Drive  
Rolleston

**STONEWOOD**  
H O M E S

Stonewood Homes  
1B, Level 1, 303 Blenheim Rd  
Upper Riccarton, Christchurch 8041,  
New Zealand  
Phone: +64 3 354 2344  
Fax: +64 3 354 2342  
Email: info@stonewood.co.nz  
Website: www.stonewood.co.nz

This plan is developed for the purchaser and is copyright to Stonewood Homes NZ Franchisor Limited. All dimensions and levels are to be checked and verified on site by contractor prior to commencement of any work.

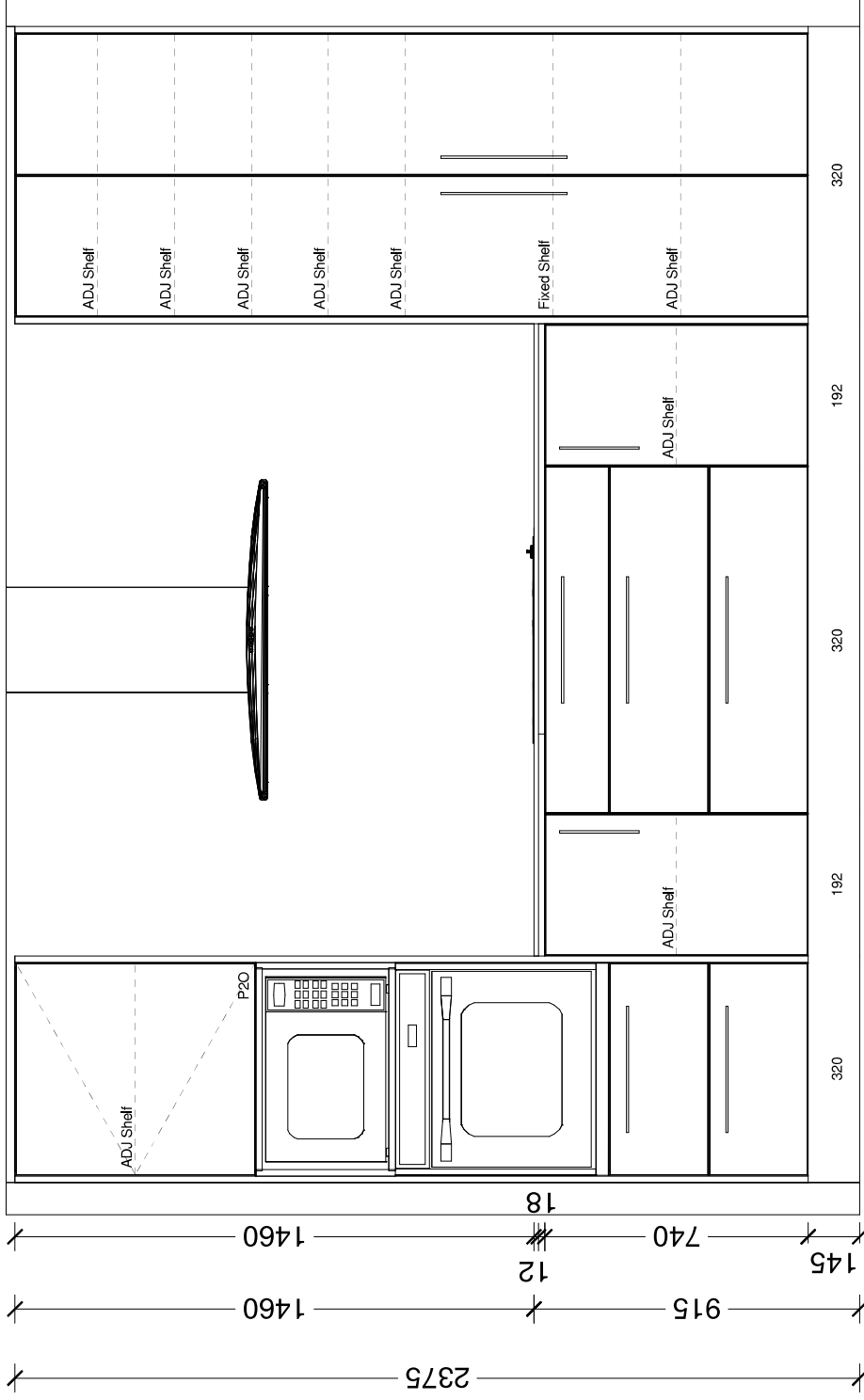
|  |
|--|
| <b>Benchtop Colour:</b>                    |
| 12mm square edge Tristone in Pure White    |
| <b>Main Joinery Colour:</b>                |
| Melteca Snowdrift Naturale                 |
| <b>Negative Detail Below Bench Colour:</b> |
| Melteca Black Pearl                        |
| <b>Handles:</b>                            |
| 3064-192/320-BN                            |



|                          |                 |                         |                |  |             |
|--------------------------|-----------------|-------------------------|----------------|--|-------------|
| Designer: Sarah Molyneux | Date: 13 Jul 20 | Client: Stonewood Homes | BC Ref: 190072 | Site Address: 199 Faringdon Green<br>Rolleston | Job#: 46062 |
| Dwg: Kitchen Plan        | Scale: 1 : 25   | Customer:               |                |  |             |

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.





Designer: Sarah Molyneux  
 Dwg: Kitchen Elevation

Date: 13 Jul 20  
 Scale: 0

Client: Stonewood Homes  
 Customer:

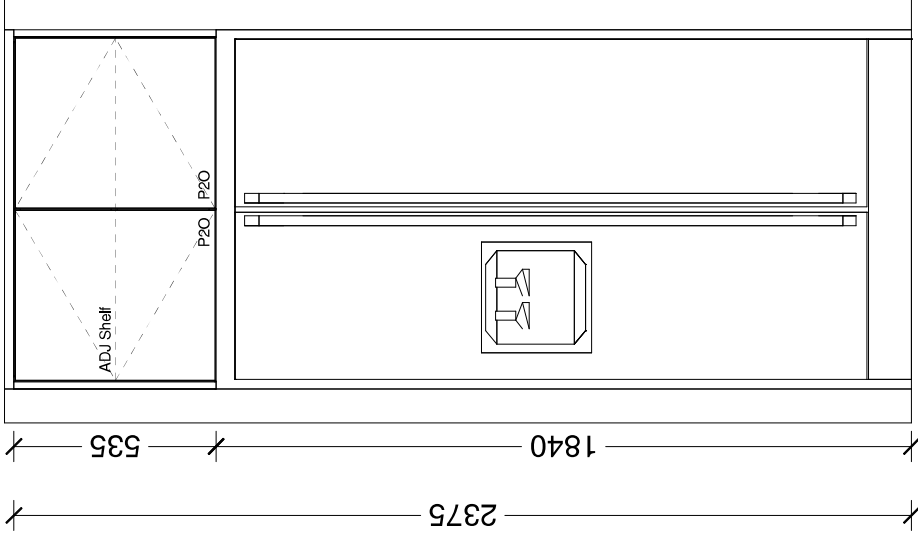
BC Ref: 190072  
 Site Address: 199 Faringdon Green  
 Rolleston

Job#: 46062



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.





Designer: Sarah Molyneux  
 Dwg: Kitchen Elevation

Date: 13 Jul 20  
 Scale: 0

Client: Stonewood Homes  
 Customer:

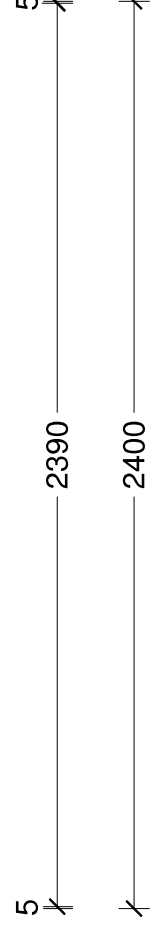
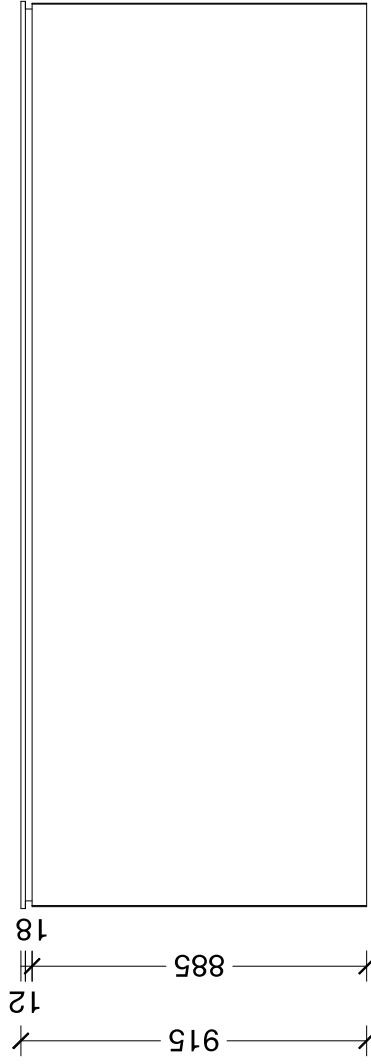
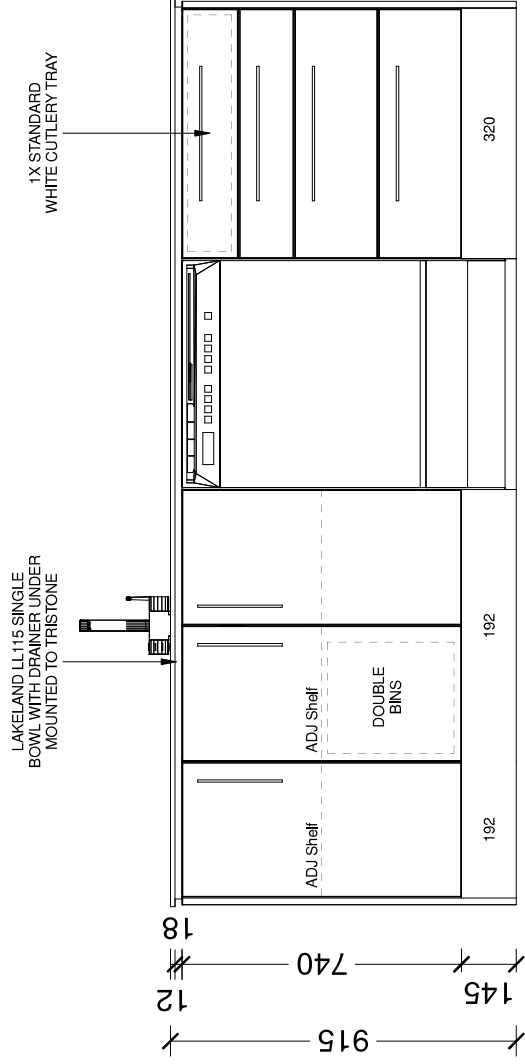
BC Ref: 190072

Site Address: 199 Faringdon Green  
 Rolleston

Job#: 46062



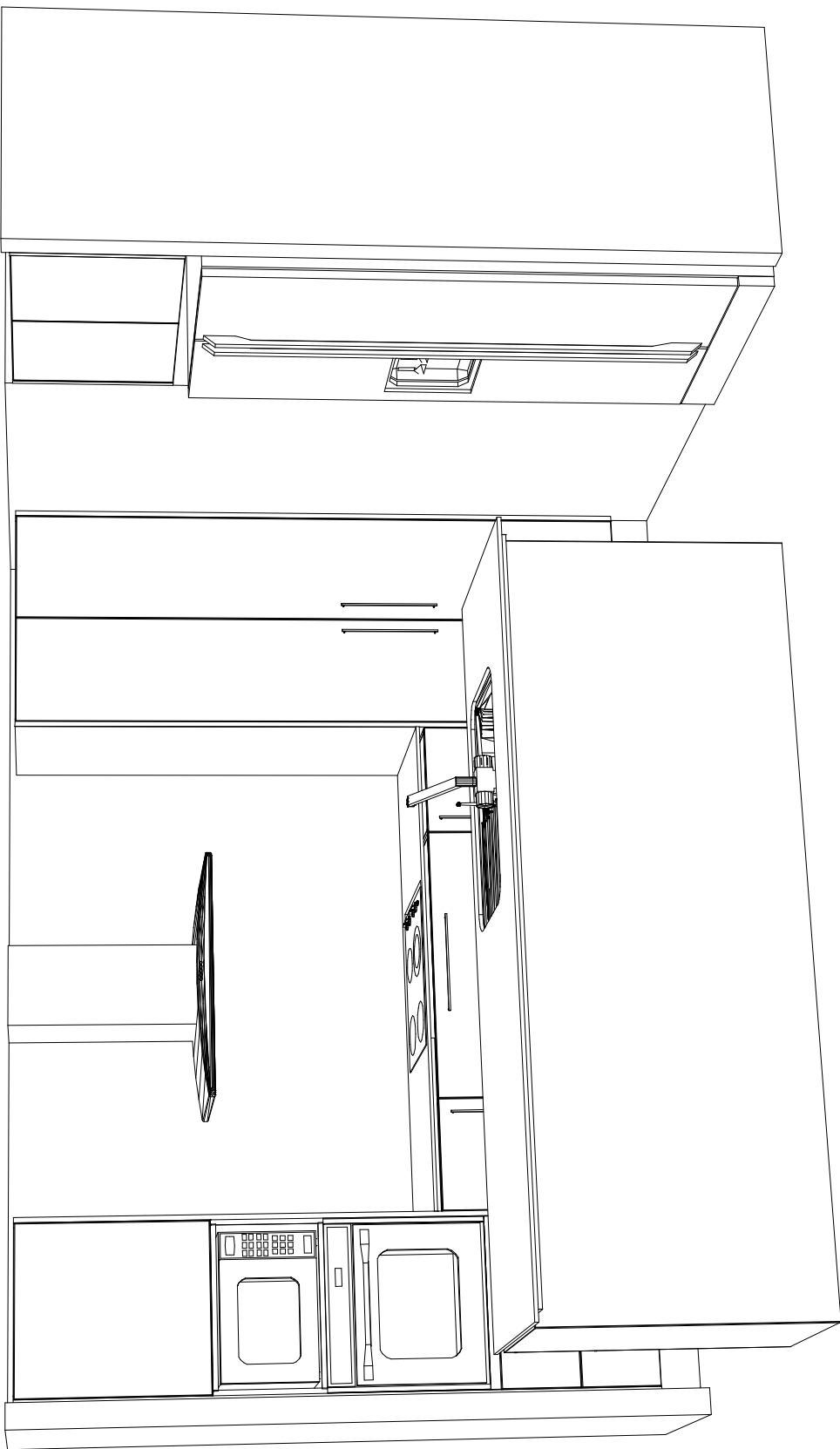
This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



|                             |                    |                            |                   |   |             |
|-----------------------------|--------------------|----------------------------|-------------------|---|-------------|
| Designer:<br>Sarah Molyneux | Date:<br>13 Jul 20 | Client:<br>Stonewood Homes | BC Ref:<br>190072 | Site Address:<br>199 Faringdon Green<br>Rolleston | Job#: 46062 |
| Dwg:<br>Kitchen Elevation   | Scale:<br>0        | Customer:                  |                   |   |             |



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer: Sarah Molyneux  
Dwg: Kitchen 3D Perspective

Date: 13 Jul 20  
Scale:

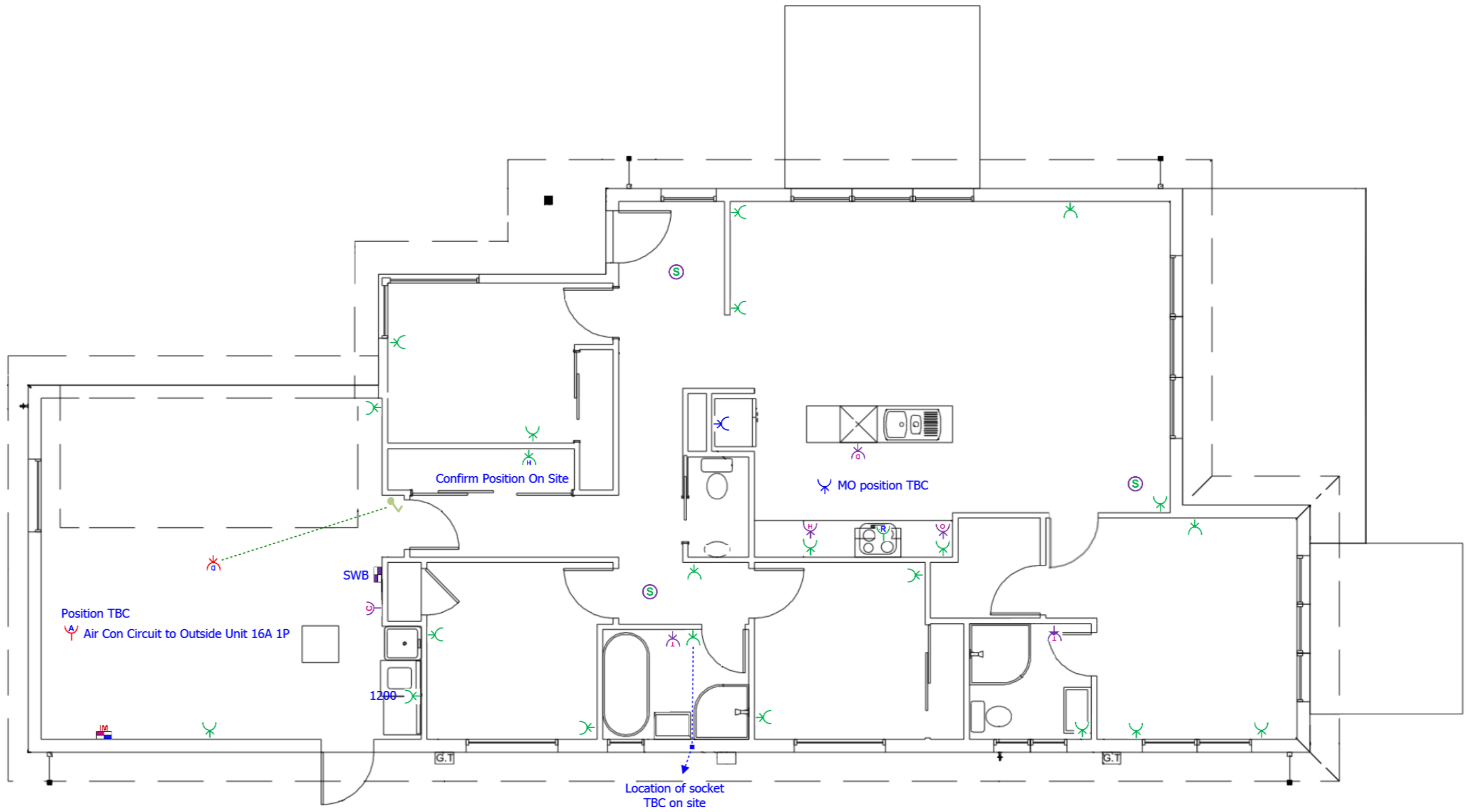
Client: Stonewood Homes  
Customer:

BC Ref: 190072  
Site Address: 199 Faringdon Green  
Rolleston

Job#: 46062



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Signature: \_\_\_\_\_ Date: \_\_\_\_\_



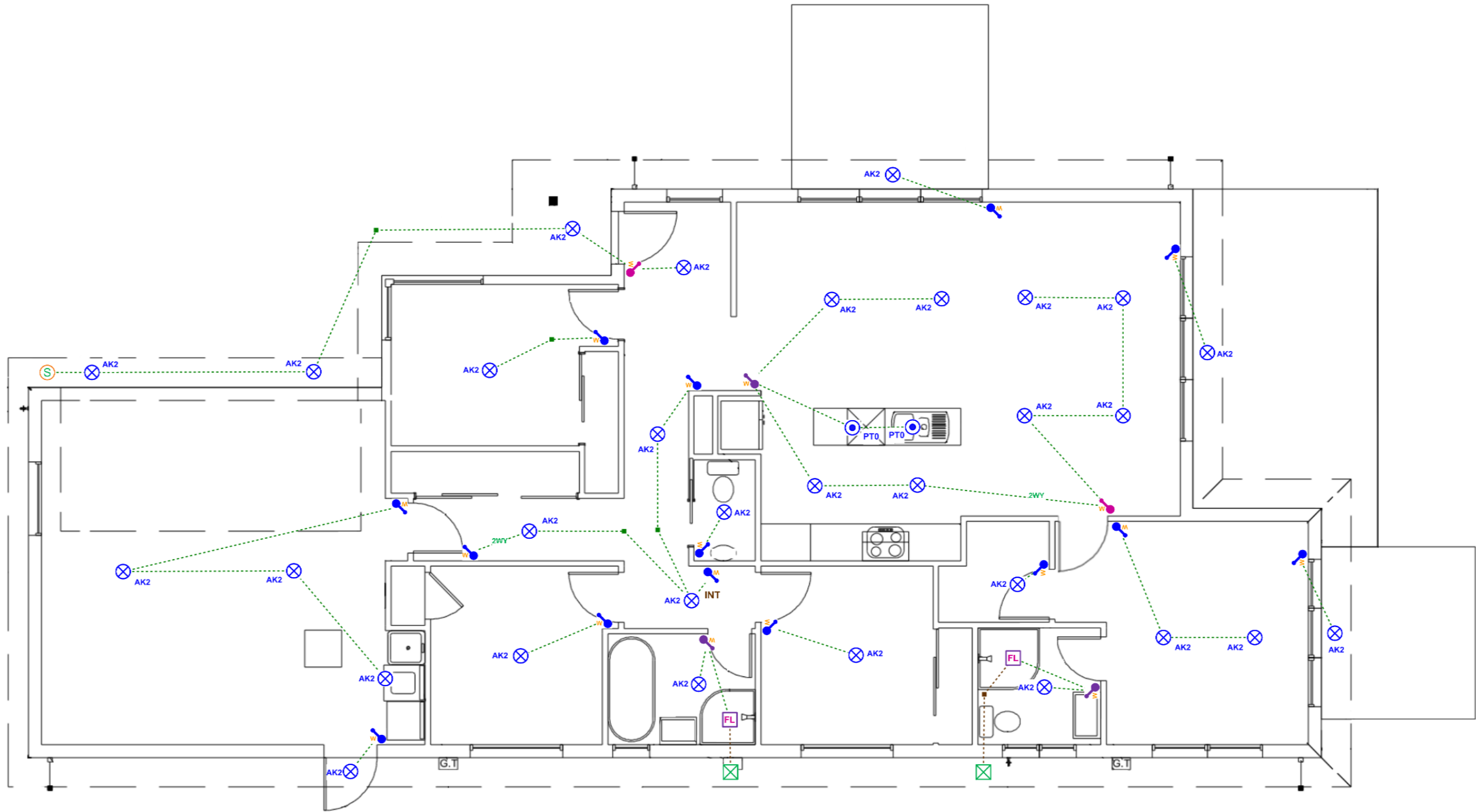
**Electrical Power**

Stonewood Homes - Lot 199 Farrington Green  
 Lot 199 Farrington Green  
 Rolleston, Christchurch

Christchurch  
 PO Box 9302  
 Tower Junction  
 Christchurch

Phone: 03 338 4238  
 Fax: 03 338 4239  
 Web: smartsystems.net.nz  
 Email: info@smartsystems.net.nz

Designed by: Michael Gilbert  
 Drawing Not To Scale



Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Lighting Circuits

Stonewood Homes - Lot 199 Farrington  
 Lot 199 Farrington Green  
 Rolleston, Christchurch

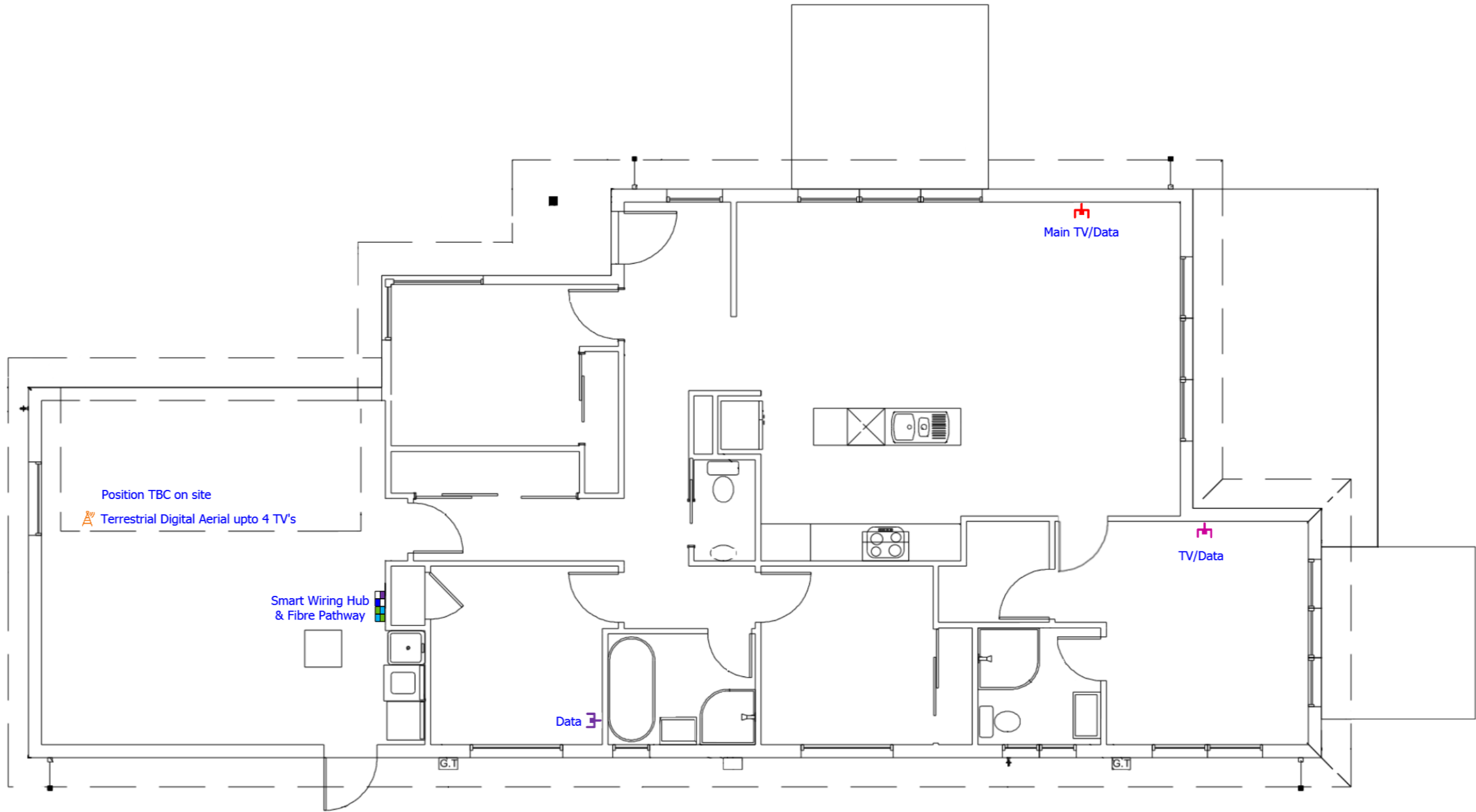
Christchurch  
 PO Box 9302  
 Tower Junction  
 Christchurch

Phone: 03 338 4238  
 Fax: 03 338 4239  
 Web: [smartsystems.net.nz](http://smartsystems.net.nz)  
 Email: [info@smartsystems.net.nz](mailto:info@smartsystems.net.nz)

Designed by: Michael Gilbert

Drawing Not To Scale





Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**Structured Cabling**

Stonewood Homes - Lot 199 Farrington  
 Lot 199 Farrington Green  
 Rolleston, Christchurch

Christchurch  
 PO Box 9302  
 Tower Junction  
 Christchurch

Phone: 03 338 4238  
 Fax: 03 338 4239  
 Web: [smartsystems.net.nz](http://smartsystems.net.nz)  
 Email: [info@smartsystems.net.nz](mailto:info@smartsystems.net.nz)

Designed by: Michael Gilbert

Drawing Not To Scale

# Key & Specification
















Date 14/06/2020

## To Site Address









Olivia Stonewood Homes - Lot 199 Farringdon Gre  
PO Box 16499  
Hornby  
Christchurch 8441




Lot 199 Farringdon Green  
Farringdon

**Job No** 2088      **Customer ID** 106428      **Building Co Order**      **Sales Person** Michael Gilbert







| Class  | Job Description   | Quantity |
|--|---|----------|
| <b>Electrical Power:</b>   |   |          |
|  EP011001   | Electrical Base for 30 way switchboard  | 1        |
|  EP025121   | Internal flush mounted meter box<br>Please Note: meter box mounted directly above the ducts for the mains cable on the internal side of the wall. No allowance to move meter box for bracing. | 1        |
|  EP100082   | Rangehood plug socket (no switch) white   | 1        |
|  EP100110 | Smart wiring power sockets for hub white  | 1        |
|  EP141001 | Voltex classis single power socket 10A white  | 2        |
|  EP141021 | Voltex classic double power socket horizontal white 10A   | 21       |
|  EP141071 | Voltex classic garage door single power socket and press switch 10A white   | 1        |
|  EP141111 | Voltex classic single power socket for dishwasher 10A white   | 1        |
|  EP141151 | Voltex classic built in oven connection & isolation switch max 20m from switchboard & up to 20A max   | 1        |
|  EP141161 | Voltex classic electric hob connection & isolation switch up to 20m from switchboard & 32A max  | 1        |
|  EP141221 | Voltex classic hot water cylinder connection standard tariff white  | 1        |
|  EP210001 | Air conditioning outside unit power and isolation switch 16A max single phase   | 1        |
|  EP220001 | Smoke detector mains powered with 9V battery backup   | 3        |
|  EP901501 | Voltex Shadowline slim heated towel rail power connection & install<br>Please note: heated towel rail not included  | 1        |
|  EP901521 | Voltex classic heated towel rail power connection & installation<br>Please note: no towel rail included in this costing   | 1        |

## Lighting Circuits:

|  |  |    |
|--|--|----|
|  EL006001 | External 180 degree movement sensor            | 1  |
|  EL110034 | Recessed light circuit                         | 31 |
|  EL110035 | Pendant light circuit                          | 2  |
|  EL110201 | 2 way light circuit                            | 2  |
|  EL130501 | Voltex classic 1-gang light switch white       | 14 |
|  EL130505 | Voltex classic 2-gang light switch white       | 2  |
|  EL130510 | Voltex classic 3-gang light switch white       | 3  |
|  EL130701 | Voltex classic 3-way intermediate switch white | 1  |

|  |   |    |
|--|---|----|
|  EL180008   | Extractor fan/light circuit & install only<br>Please note: fan/light not included | 2  |
|  EL202330 | Prolux LED downlight DL54 10W 3K 850 lumen white                                  | 31 |
|  EL297941 | Newtown black 1/L 160mm pendant light with 40W carbon filament lamp               | 2  |

#### Structured Cabling:

|  |   |   |
|--|---|---|
|  SC001111 | Smart wiring base 12 data sockets 20" hub   | 1 |
|  SC050005 | Fibre optic ducted pathway to external demarcation point  | 1 |
|  SC120151 | Voltex classic Cat6 data socket 1Gb/s white   | 1 |
|  SC240701 | Voltex classic TV/data socket cat6 1Gb/s white  | 1 |
|  SC240801 | Voltex classic main TV & data socket cat6 1Gb/s white   | 1 |
|  SC402001 | Digital terrestrial aerial suitable for Freeview HD up to 4 TV outlets<br>Please note: Freeview HD reception requires line of sight to the transmitter and signal levels and quality can not be confirmed until a site visit is completed. Any further hardware or upgrade of aerial materials not included in quote. | 1 |