

\$527,500

Lot 35 Faringdon Green, Rolleston

STONEWOOD
HOMES

RESERVE OUTLOOK!

STONEWOOD
HOMES



For Sale

House and Land Package

Dwelling Size	Section Size				
153m ²	451m ²	4	1	2	2

With a reserve outlook this home features four bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining, family bathroom and internal access double garaging. Well appointed for the sun on an easy care landscaped section, offering quality fixtures and fittings throughout and finished to a high standard this design is sure to impress.

Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fastest growing area. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only for a short drive to central Rolleston with a shopping complex to cater all requirements.

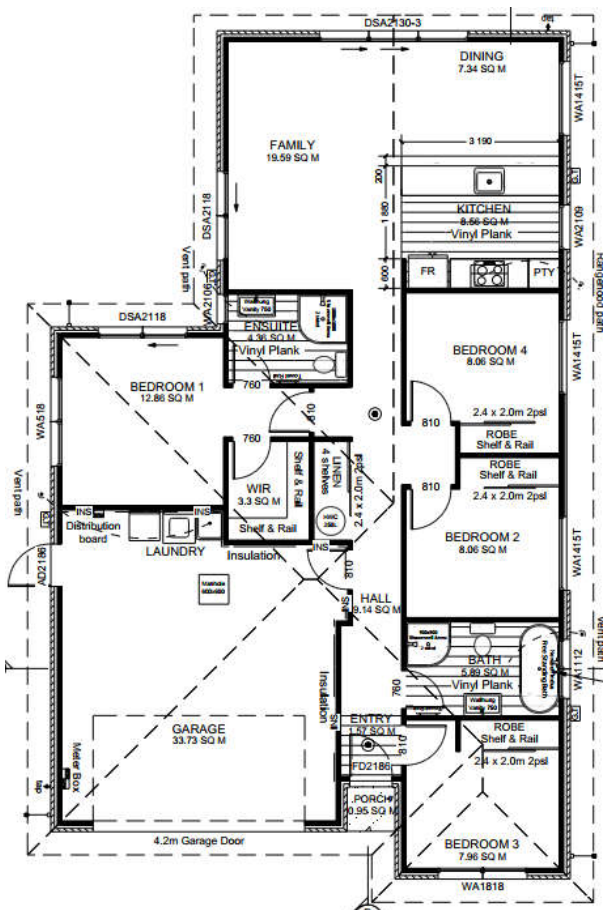
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Inclusions:

Quality cladding selections	Metal pressed tile roof	2.42m ceiling height
1.98m internal door height	Windsor door hardware	Designer kitchen
Bosch appliances	Italian tapware	LED light fittings
Norman Ellison carpets	8.0kw heatpump	Fully landscaped
Window coverings	After care service	10 year Master Build guarantee

Floor Plan:



Location:



Disclaimer: This material is for the use of illustrative and guidance purposes. All efforts have been made by Stonewood Homes Christchurch to ensure the information correctly illustrates the dwelling however Stonewood Homes accept no responsibility for any variances which may become apparent once the build commences.

GENERAL

Guarantee:	10 year Master Build guarantee
Warranty:	365 day warranty period
Insurance:	Builders risk insurance

STRUCTURE

Foundation/floor slab:	TC1 foundation with 300mm excavation depth
Framing:	2.42m NZ5S 3602:2003 with building wrap – 90mm kiln dried pine
Trusses:	Kiln dried pine
Cladding (main):	Brick – NZ Brick—Origin Range
Cladding (feature):	James Hardie smoothboard

ROOFING

Roof:	25° Metal pressed tile
Downpipes:	Colorsteel rectangular 75x55mm
Fascia and gutter:	Dimond metal fascia and quad gutter

WINDOWS AND DOORS

Entry door:	APL 860mm Latitude with urbo lever
Windows:	Vantage aluminium joinery with urbo hardware
Garage door:	Coloursteel flat panel woodgrain 4.2m
Internal doors:	1980mm Everest (vertical V groove hollow core)
Wardrobe doors:	MDF flush panel sliders
Window coverings:	Roller blinds excluding garage and bathrooms

INTERIOR LINING

Insulation:	R2.4 wall batts, R4.0 ceiling batts excluding garage
Plasterboard:	GIB board - 10mm to walls, aqualine to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009
Gib external corners:	Gib square stop
Painting:	Resene Zylone
Soffit linings:	Hardiflex 4.5mm

INTERIOR JOINERY

Internal door hardware:	Windsor Futura – Apex brushed nickel
Skirting:	60mm bevel
Wardrobe shelving:	MDF shelf and rail
Cupboard shelving:	MDF shelves x4

KITCHEN AND LAUNDRY

Kitchen and bench surface:	Kitchen cabinetry and sink with TriStone 12mm on negative detail
Tapware:	Paffoni Blu BLU180 high spout
Oven:	Bosch HBF133BSOA – stainless steel oven
Hob:	Bosch PKE611CA1A – stainless steel cooktop
Dishwasher:	Bosch SMU50E75AU – stainless steel dishwasher
Rangehood:	Bosch DWP96BC50A 600m3 – stainless steel canopy
Laundry tub:	Aquatica Estasi 560x560 LE6200

FLOORING

Carpet:	Norman Ellison
Vinyl planking:	Karndean Knightplank

ELECTRICAL

Plugs / Light Fittings:	As per plan
Heatpump:	Toshiba 8.0kw

BATHROOMS AND PLUMBING

Vanities:	Raymor Brighton 750mm
Mirrors:	1000 x 750 x 4mm polished edge
Toilets:	Adesso Mila classic suite
Showers:	Arena curved with moulded wall
Bath:	Newtech Indus back-to-wall freestanding bath
Tapware:	Paffoni Blu BLU071
Shower slides:	Paffoni Brio ZSAL194CR
Towel rails:	Newtech 5 ladder square heated towel rail
Extractors:	Weiss Clearflow FV160
Hot water cylinder:	Rheem 250L
Exterior taps:	2

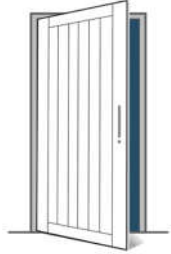
LANDSCAPING

Driveway and patio:	Exposed aggregate
Vehicle crossing:	Included
Soft landscaping:	Hydroseed
Fencing:	1.8m timber paling to left boundary. 1.2m high pool style fencing to right boundary. Pool style fencing to rear boundary. 1.8m timber paling internal fencing and one gate to left boundary. 1.2m high pool style internal fencing to right boundary.
Letterbox and clothesline:	Urban box on post / Sun King folding frame

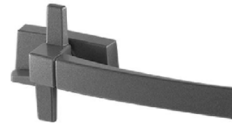
Roof profile



Front door



Window hardware



Garage door profile



Internal doors



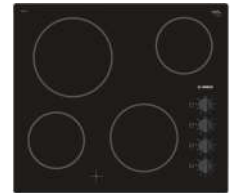
Internal door hardware



Oven



Ceramic cooktop



Rangehood



Dishwasher



Laundry tub



Kitchen tapware



Vanity



Showers



Bath



Basin mixers



Shower slides



Shower / bath mixers



Toilet



Towel rail



Colour Scheme

Lot 35 Faringdon Green, Rolleston

STONEWOOD
H O M E S

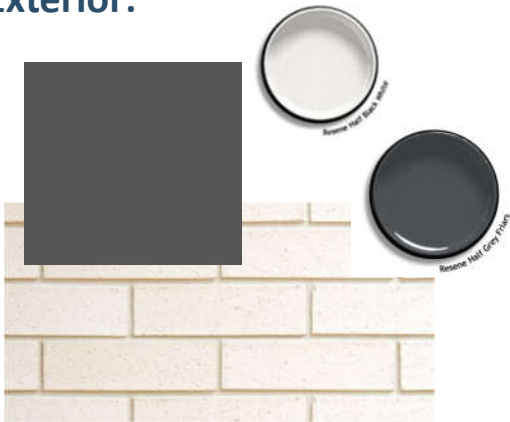
EXTERIOR

Roof:	Smoke grey
Fascia / Gutter / Downpipes:	Grey friars
Window joinery:	Sandstone grey
Front door:	Grey friars
Front door frame:	Grey friars
Garage door:	Sandstone grey
Garage door frame:	Sandstone grey
Soffits:	Resene half black white
Exterior cladding (main):	Crevole with white mortar
Exterior cladding (feature):	Resene half grey friars

INTERIOR

Ceilings:	Resene half black white
Walls:	Resene black white
Interior doors:	Resene black white
Skirting:	Resene black white
Carpet:	Dalton - Woodland
Vinyl plank:	Pale limed oak
Kitchen cabinetry:	Melteca - Snow drift
Kitchen benchtop:	TriStone 12mm – Pure white on black pearl negative detail
Tiles (kitchen splashback):	White tile (100x300mm) with mid-night grout
Aluminium wardrobe surrounds:	White

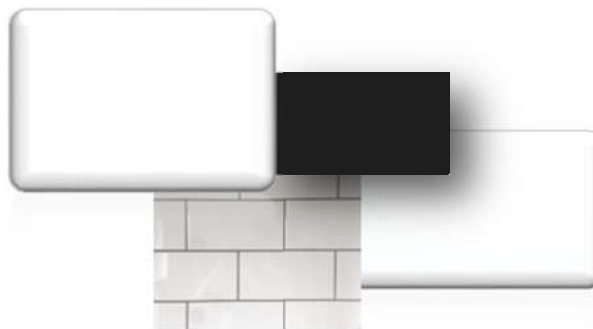
Exterior:



Interior:

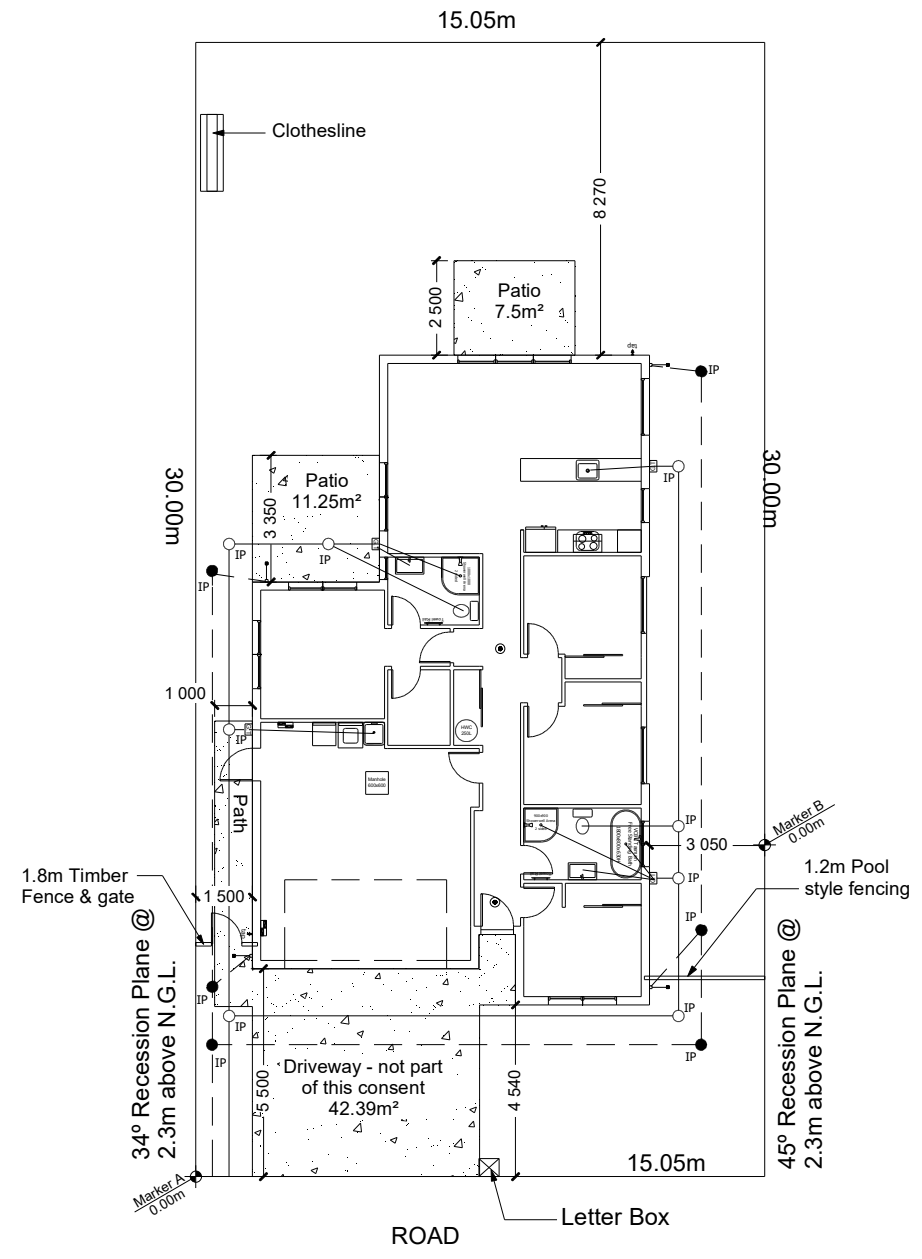
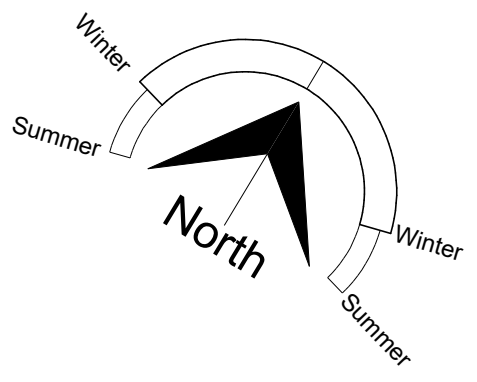


Kitchen:



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LEGEND	
Sewer Pipe	— developed length: (approx) xxm
S/W Pipe	- - - - developed length: (approx) xxm
Down Pipe	DP
Gully Trap	GT
Terminal Vent	TV

SITE PLAN NOTES

Refer to Drainage Plan for specific drainage information

Refer to sediment control plan in specification and implement where required.

Driveway – By Stonewood Homes as shown OR Driveway and Sump not part of this building consent

Convey surface water from sealed drive areas to an appropriate approved outfall.

Dimensions are shown to cladding face

Resource Consent Issues:
1/ No RC Issues known

SITE INFORMATION	
Zone	xx
Wind	xx
Earthquake	1/2/3/4
Durability	B/C/D
Snow	N x at xxm (up to x kPa)

BUILDING AREA AND SITE COVERAGE	
Net Site Area =	451m ²
Building Area (O/V) = (Includes covered areas)	153.35m ²
Max Site Coverage Allowed:	00%
Actual Site Coverage=	34.00%

EARTHWORKS	
Proposed F.G.L =	xxm
Proposed F.F.L =	xxm
FMA level:	xxm

SITE ASSESSMENT & SOIL REPORT

Site assessment data supplied from:
TBC (registered surveyor)

Phone: TBC
Date completed: xx-xx-xxx
Levels are relative to: TBC

This dwelling has been designed according to the recommendations from:
Soil Report by: xxxxxx
Date: xx-xx-xxxx

STONWOOD HOMES

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1B, Level 1, 303 Blenheim Rd
Upper Riccarton, Christchurch 8041,
New Zealand
Phone: +64 3 354 2344
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Email: info@stonewood.co.nz
Website: www.stonewood.co.nz

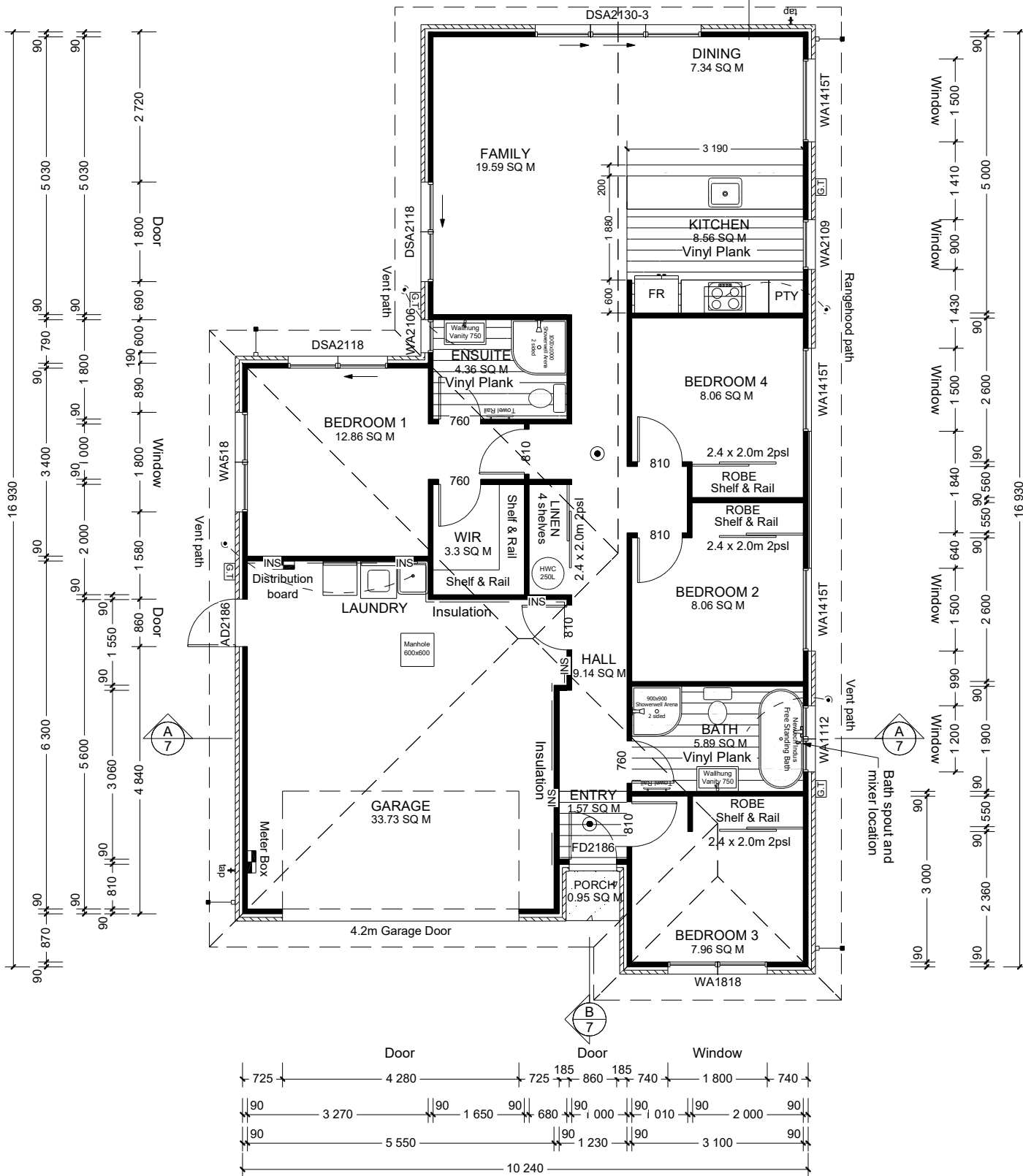
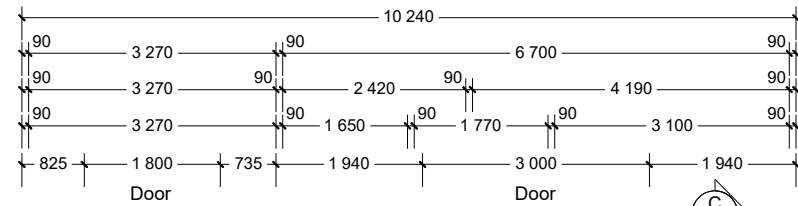
Client :
Lot 35 Faringdon Green
Proposed Dwelling at:
Lot 35
Faringdon Green

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Signed:	Date:	
SITE PLAN		
Drawn By Vidya	Checked By XXXX XXXXX	LBP # XXXXXX
Standard Plan Windmere 147 Gable	Print Date 3/9/2020	Sales SHC
Job Number 200014	Version A	Revision 2
Version: CONCEPT		Sheet 3
		OF XX



Key To Elevations



ROOF & WALL CLADDING	
Roof -	25° Pressed Metal Tile Profile
Walls -	70 Series Brick Veneer
Feature -	Smoothboard Cladding

BUILDING AREA	
AREA:	145.41 m ² O/F (Perimeter: 56.14m)
AREA:	152.4 m ² O/V (Perimeter: 57.32m)
AREA:	153.35 m ² (incl Covered Area 0.95 m ²)
AREA:	179.35 m ² Roof(Perimeter: 58.84m)

GENERAL FLOOR PLAN NOTES

SMOKE ALARMS (hush type)
Smoke Alarms to be fitted within 3.0m of sleeping areas and on Escape routes, as indicated on plan. Refer to Construction Schedule (Page 2 & 3) in the Specification for more information.

MISCELLANEOUS:
Dimensions shown are to the frame, GIB thickness not shown.
Refer to Construction Schedule (Page 2 & 3 of Specification) for additional construction information.
Entry through external doors
Mechanical ventilation
Air Seals to have PEF rod & low expansion foam
All windows and doors centered in room unless shown otherwise

GAS
Gas Bottles to be installed 1500mm away from any ignition source as per the Gas Cylinder diagram in the Gas section of the main specification.
(Anything electrical is an ignition source)

BUILDING WRAP
7mm Ecoply Barrier OR Tekton OR Tyvek, refer to manufacturers specifications attached

WALL FRAMING
Stud Height: 2420 mm

FLOOR FINISHES
Carpet
Vinyl Plank

WATER HEATING
Electric OR Gas

KITCHEN HOB
Gas Hob with Heat resistant splash back
OR Electric Hob

DOORS
Internal Height: 1980mm
Type: TBC
Front Door Type: APL Horizontal Latitude

WINDOW SCHEDULE	
LABEL	QTY
DSA2118	2
WA1112	1
WA1415T	3
WA1818	1
WA518	1
WA2109	1
DSA2130-3	1
WA2106	1

DOOR SCHEDULE	
LABEL	QTY
2.4 X 2.0M 2PSL	4
4.2M GARAGE DOOR	1
760	3
AD2186	1
FD2186	1
810	6

STONWOOD HOMES

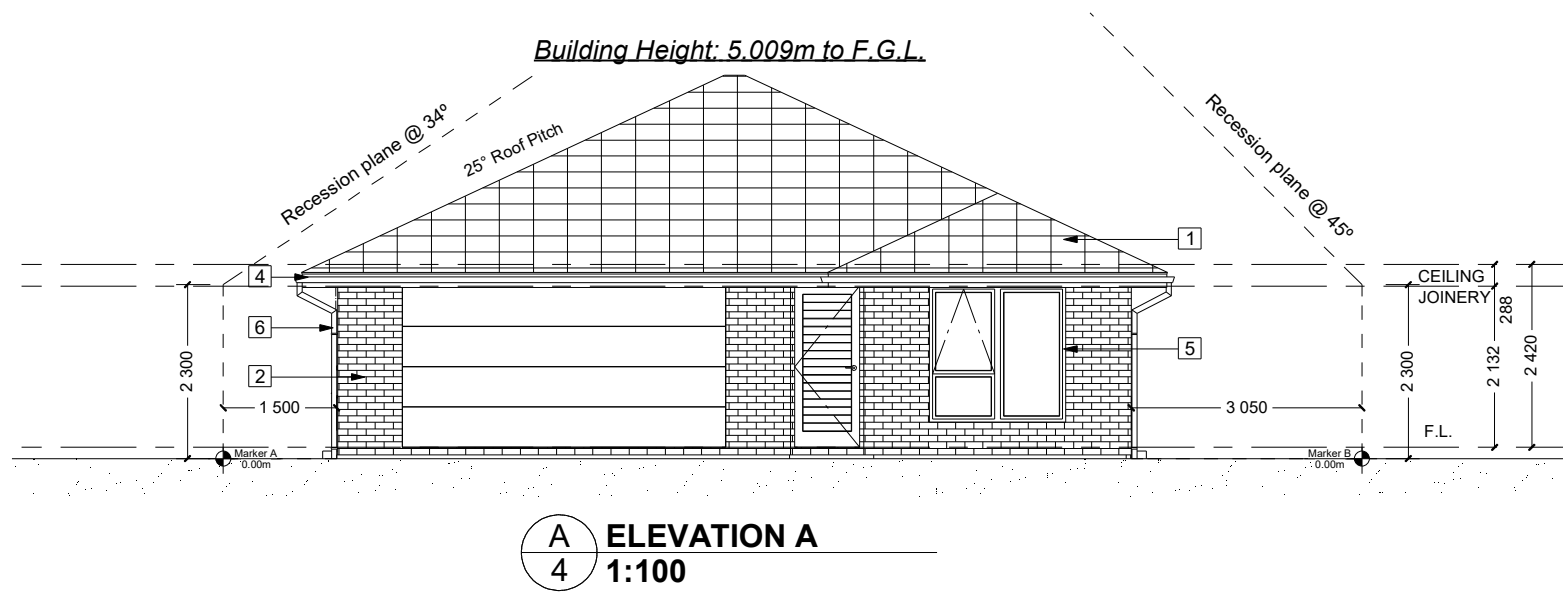
Stonewood Homes
1B, Level 1, 303 Blenheim Rd
Upper Riccarton, Christchurch 8041,
New Zealand
Phone: +64 3 354 2344
Fax: +64 3 354 2342
Email: info@stonewood.co.nz
Website: www.stonewood.co.nz

Client :
Lot 35 Faringdon Green
Proposed Dwelling at:
Lot 35
Faringdon Green

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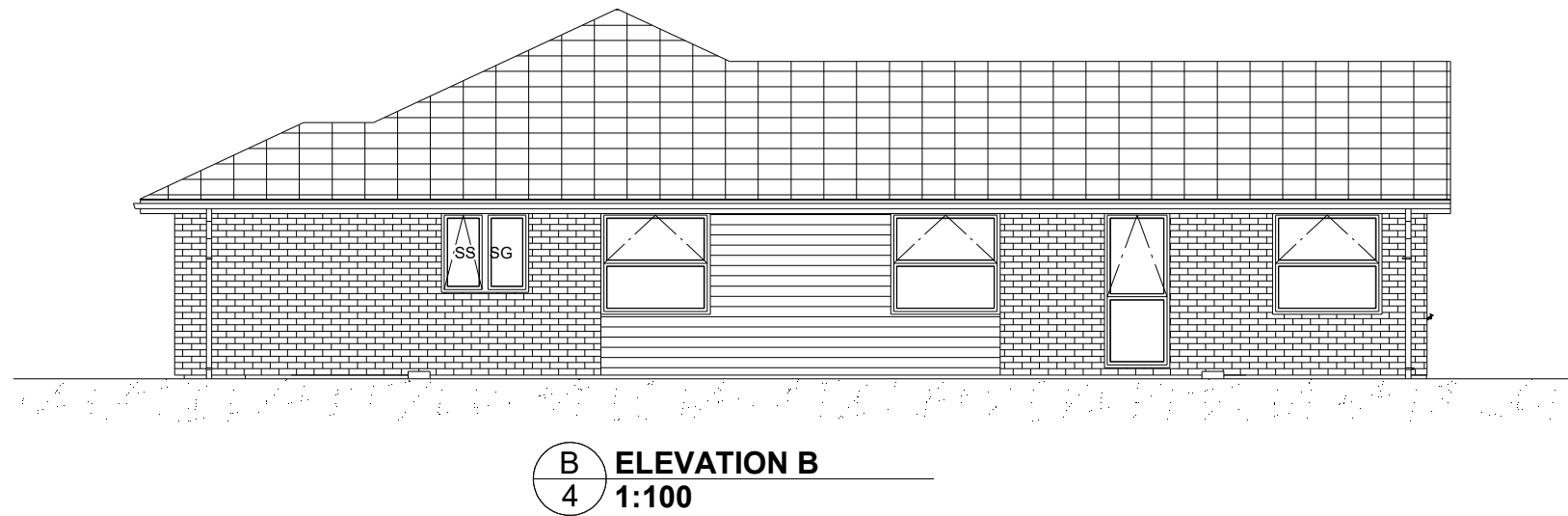
Signed:		Date:	
FLOOR PLAN			
Drawn By Vidya	Checked By XXXX XXXXX	LBP # XXXXXX	
Standard Plan Windmere 147 Gable	Print Date 3/9/2020	Sales SHC	Scale at A3 1:100
Job Number 200014	Version A	Revision 2	Sheet 4
Version: CONCEPT			OF XX

RISK MATRIX ASSESSMENT		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX



GENERAL ELEVATION NOTES
Air Barrier to unlined wall and gables, refer to the Construction Schedule in the Specification for type.
This sheet to be read in conjunction with the Risk Matrix in specification.
Driveway to fall from 20mm max below garage rebates (By Others).
Key SS: Security Stay SG: Safety Glass

LEGEND
1 - Pressed Metal Tile Profile
2 - 70 Series Brick over 60mm cavity
3 - Smoothboard Cladding
4 - Dimond Fascia and Gutter System
5 - Aluminum Joinery
6 - Colorsteel Downpipe's
7 - Meter Box
8 - Outdoor Heatpump Unit
9 - Terminal Vent



RISK MATRIX ASSESSMENT		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

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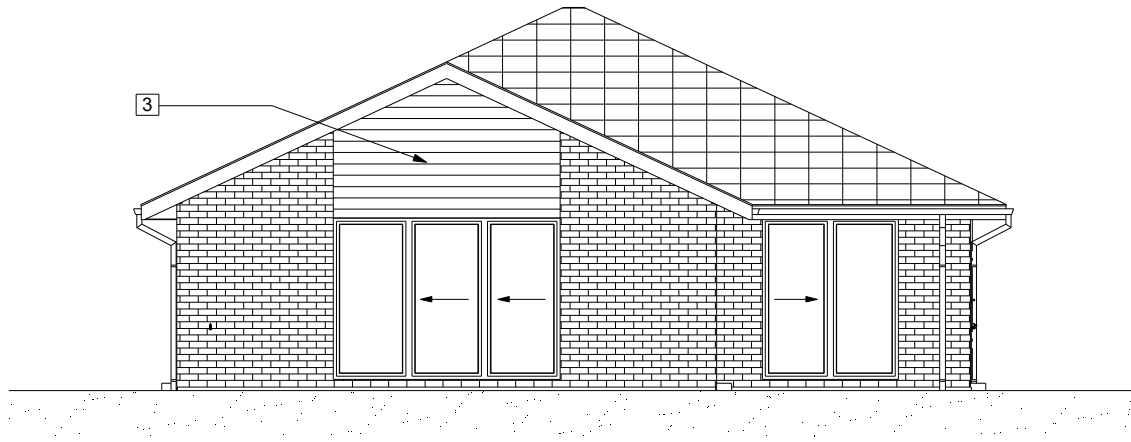
Stonewood Homes
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ELEVATIONS			
Drawn By Vidya	Checked By XXXX XXXXX	LBP # XXXXXX	
Standard Plan Windmere 147 Gable	Print Date 3/9/2020	Sales SHC	Scale at A3 1:100
Job Number 200014	Version A	Revision 2	Sheet 5
Version: CONCEPT			OF XX

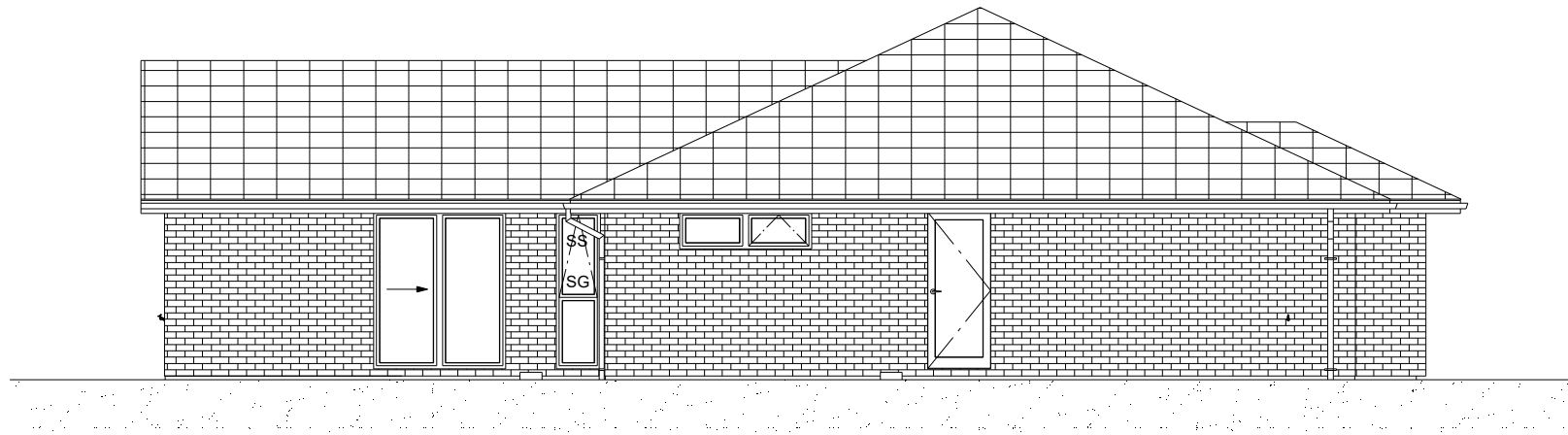
RISK MATRIX ASSESSMENT		
ELEVATION C		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX



C
4 **ELEVATION C**
1:100

GENERAL ELEVATION NOTES
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Key SS: Security Stay SG: Safety Glass

LEGEND
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5 - Aluminum Joinery
6 - Colorsteel Downpipe's
7 - Meter Box
8 - Outdoor Heatpump Unit
9 - Terminal Vent



D
4 **ELEVATION D**
1:100

RISK MATRIX ASSESSMENT		
ELEVATION D		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

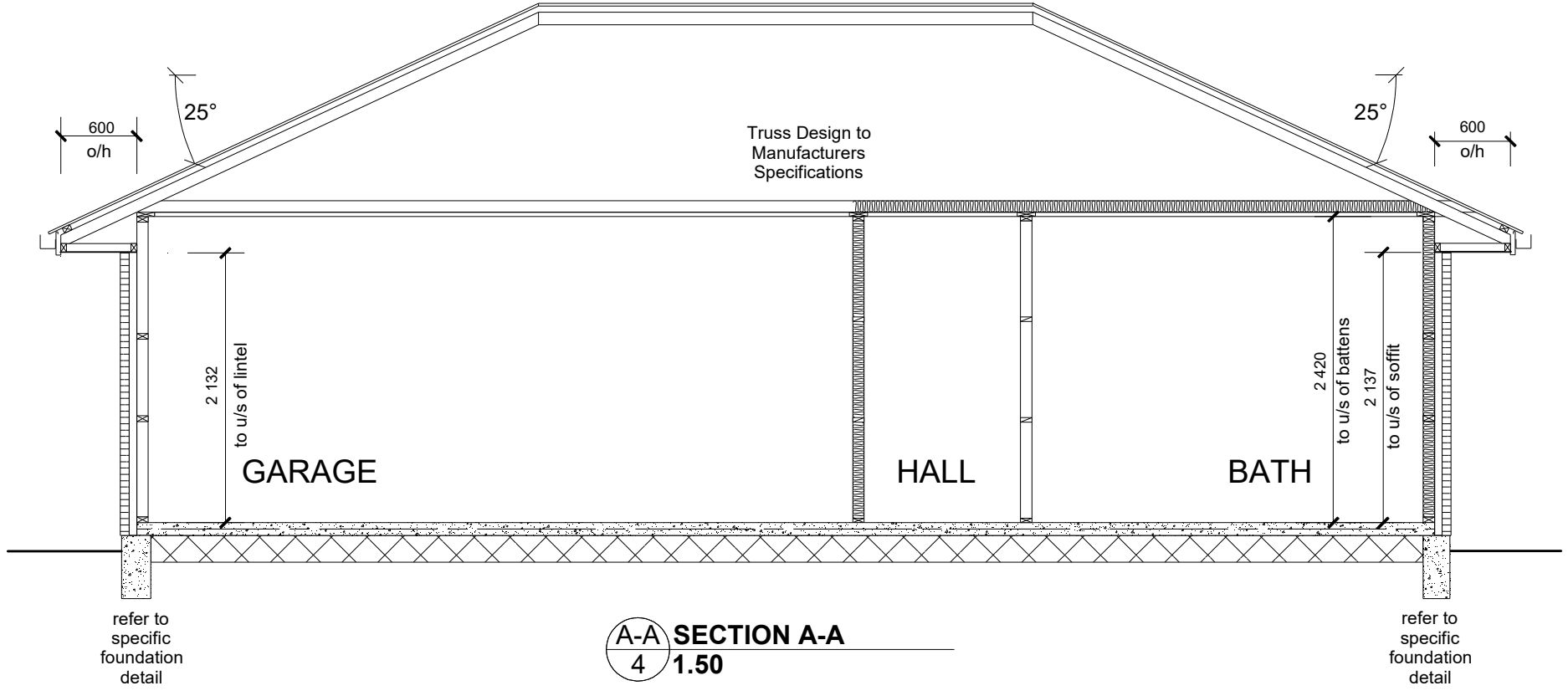
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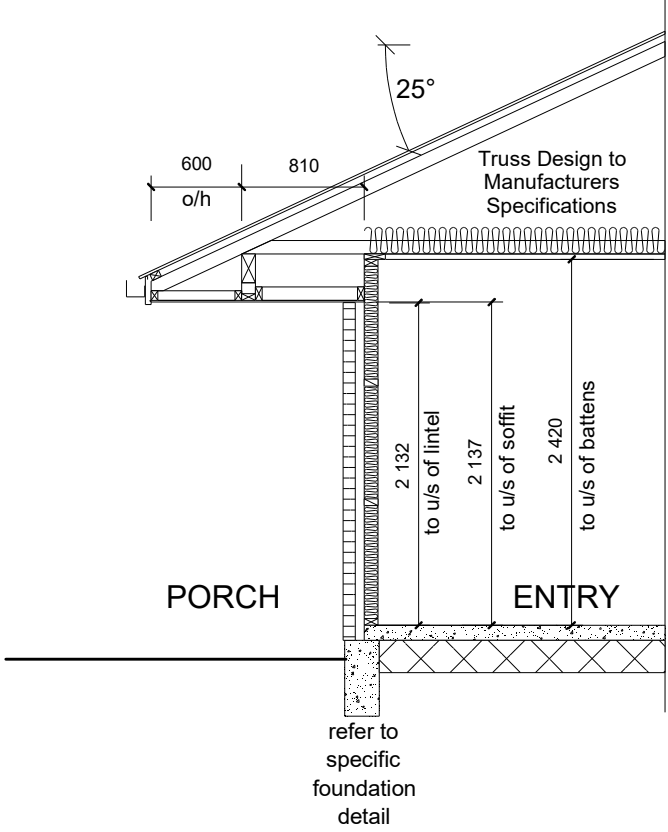
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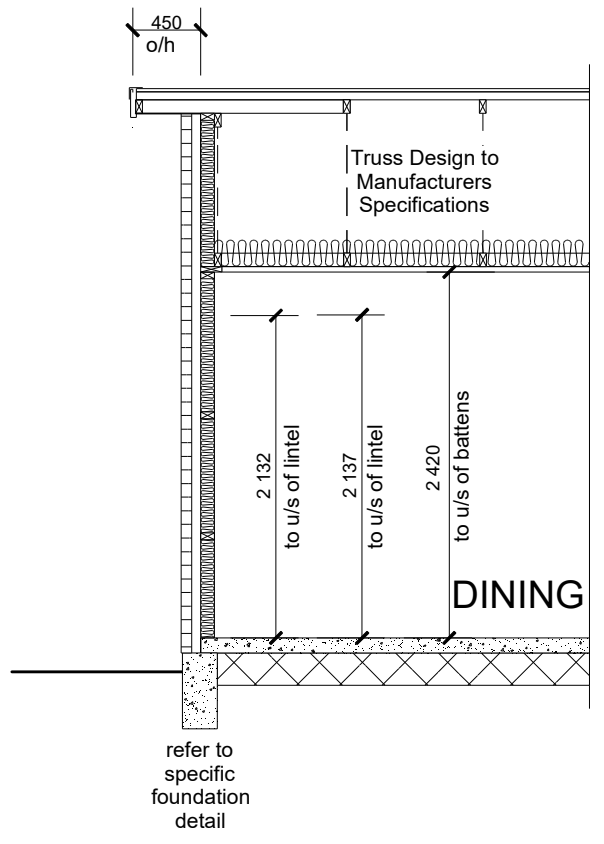
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ELEVATIONS		
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Standard Plan Windmere 147 Gable	Print Date 3/9/2020	Sales SHC
Job Number 200014	Version A	Revision 2
Version: CONCEPT	Sheet 6	OF XX



A-A SECTION A-A
4 1.50



B SECTION B
4 1.50



C SECTION C
4 1.50

GENERAL ELEVATION NOTES
Refer to the Construction Schedule (Page 2 & 3) in the Specification for further information.

INSULATION
Wall - Pink Batts R.... Wall Batts
Ceiling - Pink Batts R.... Ceiling Batts

LEGEND

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -

PROTECTION OF FIXINGS
Fixings shall comply with NZS 3604:2011 Section 4 Durability Tables 4.1-4.3
CONCRETE STRENGTH
All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2
TIMBER GRADE
Timber members specified on these drawings are to be a minimum of SG8 strength graded as per NZS3604:2011

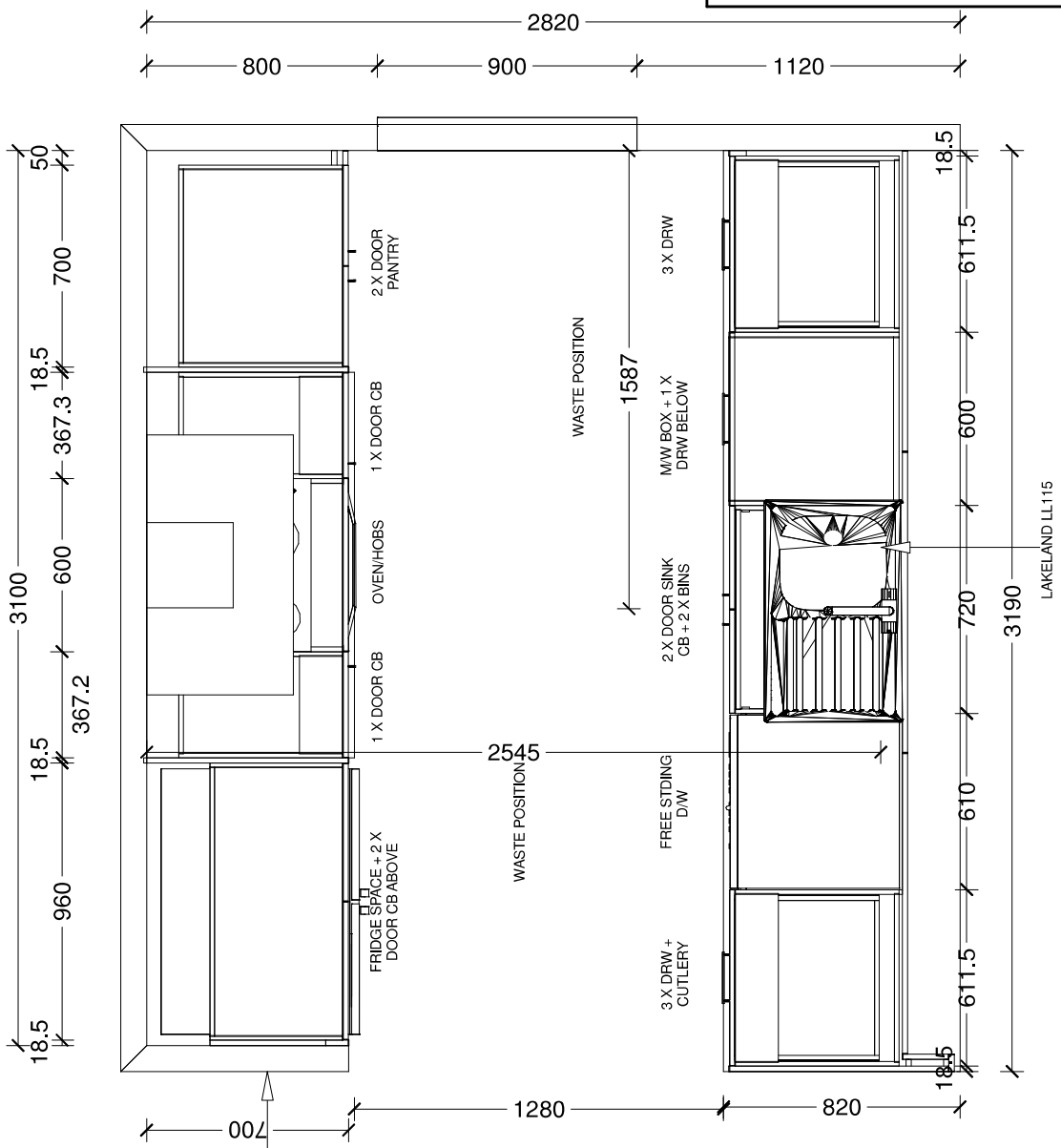
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CROSS SECTION			
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Standard Plan Windmere 147 Gable	Print Date 3/9/2020	Sales SHC	Scale at A3 1:50
Job Number 200014	Version A	Revision 2	Sheet 7
Version: CONCEPT	OF XX		



RECOMMEND MAKING WING WALL 700MM DEEP TO ACCOMMODATE FRIDGE

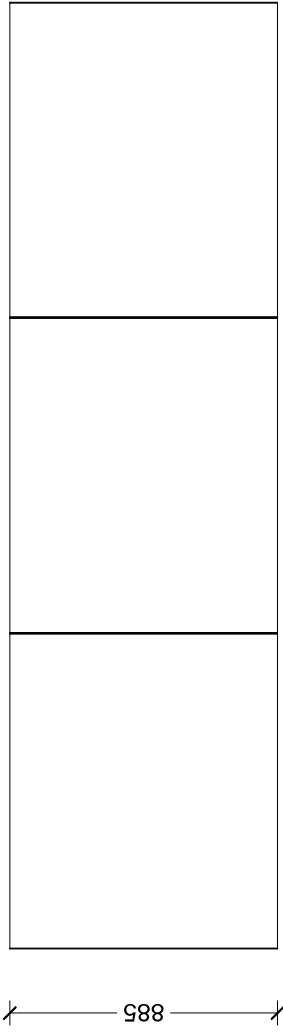
Benchtop Colour:	12mm thick Tri Stone Pure White
Main Joinery Colour:	Melteca Snowdrift Natural
Negative Detail Below Bench Colour:	Melteca Black Pearl
Handles:	3064-BN

Designer: Teresa	Date: 22 Aug 19	Client: Stonewood Homes	BC Ref:	Site Address: Faringdon Green	Job#:
Dwg: XXXXXXXXX	Rev: XX	Scale: 1 : 25	Customer:		

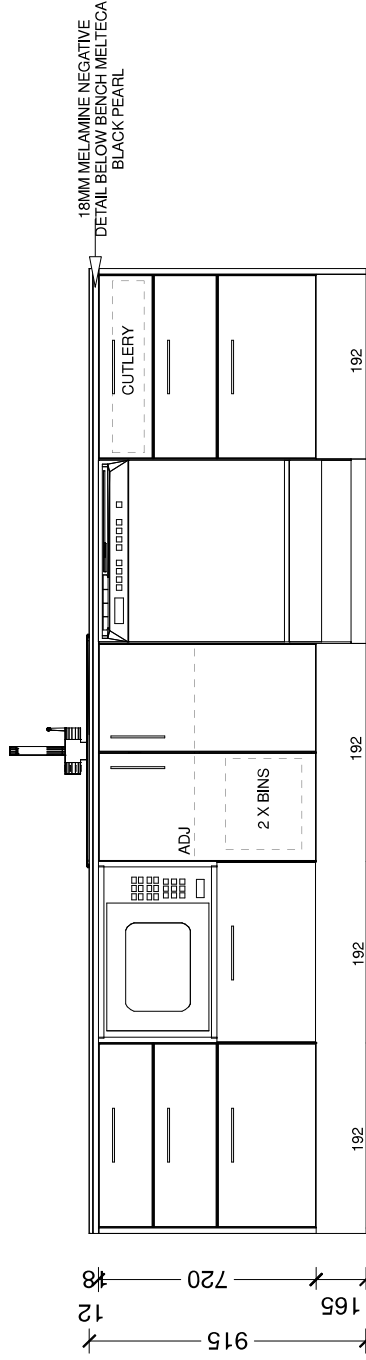


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ISLAND BACK



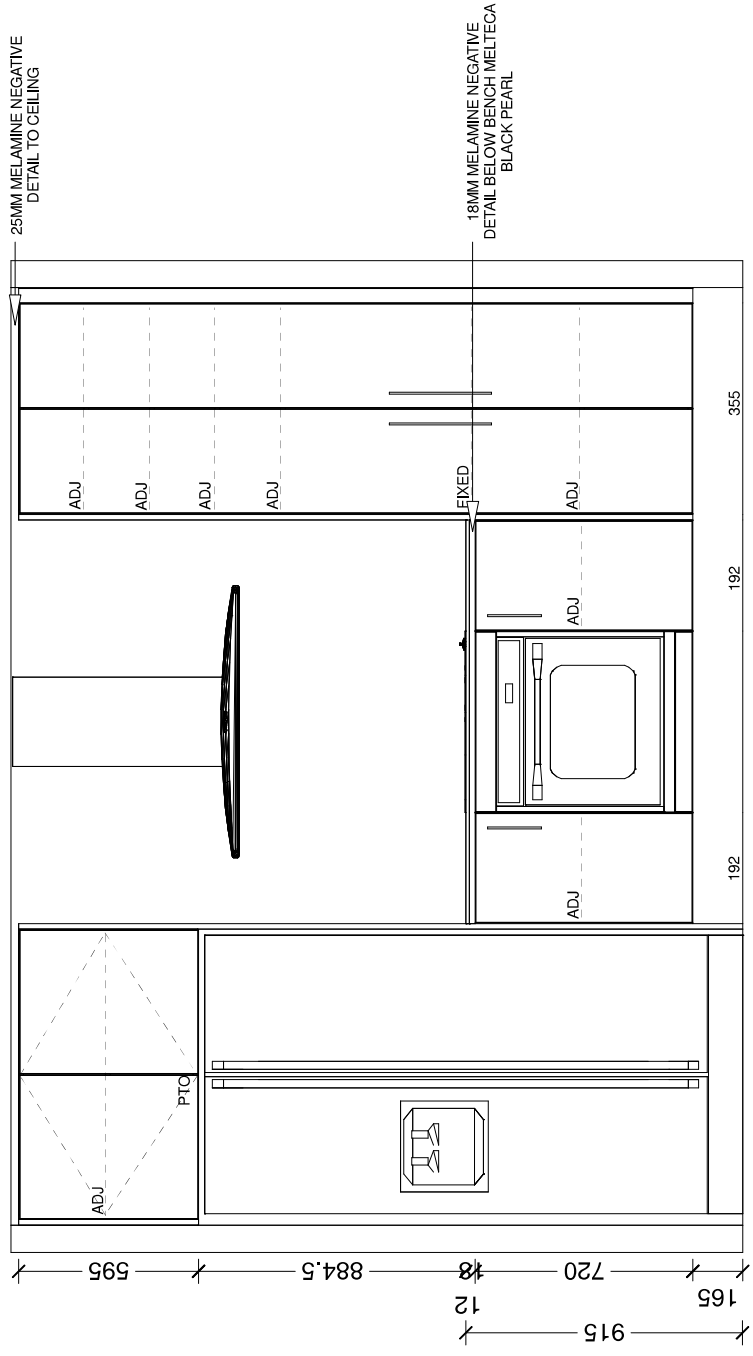
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 1043.3
 1043.3
 3190



18.5
 611.5
 1595
 600
 720
 610
 611.5
 18.5
 192
 192
 192
 192
 3190

Designer: Teresa	Date: 22 Aug 19	Client: Stonewood Homes	BC Ref:	Site Address: Faringdon Green	Job#:
Dwg: XXXXXXXXX	Rev: XX	Scale: 1 : 25	Customer:		

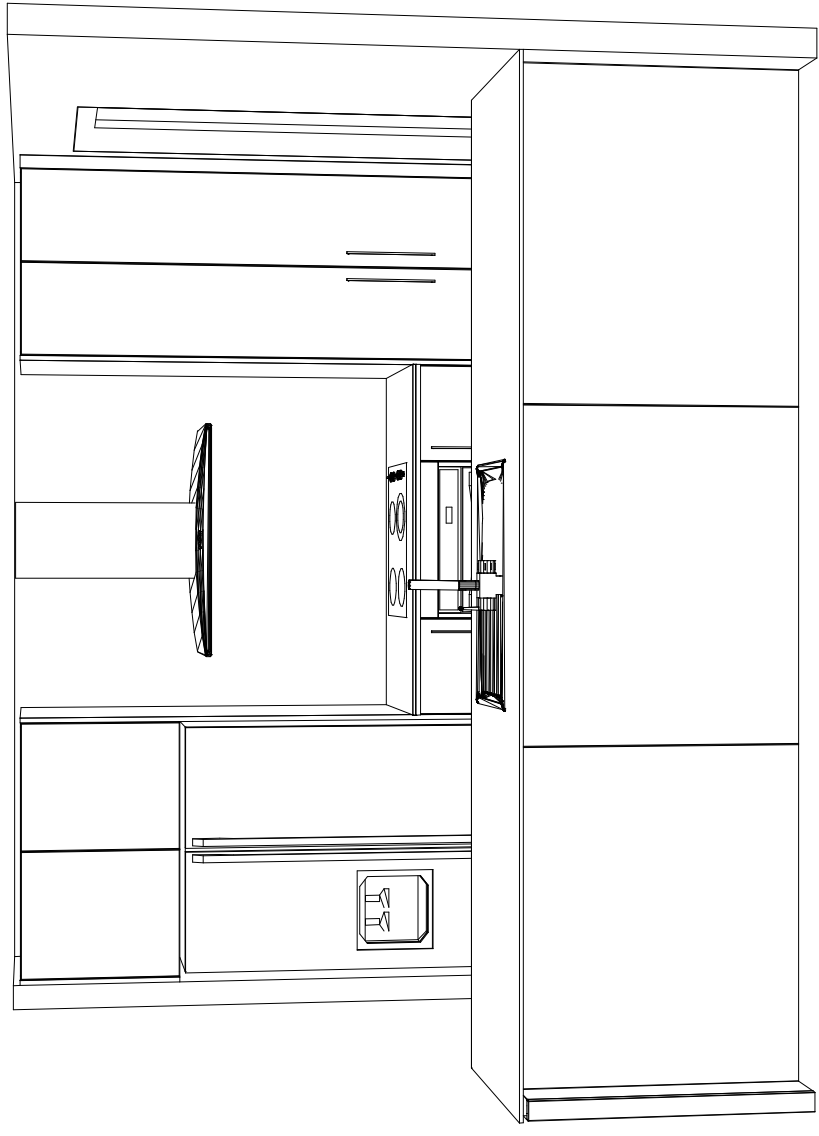




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Dwg: XXXXXXXXXX	Rev: XX	Scale: 1 : 25	Customer:		



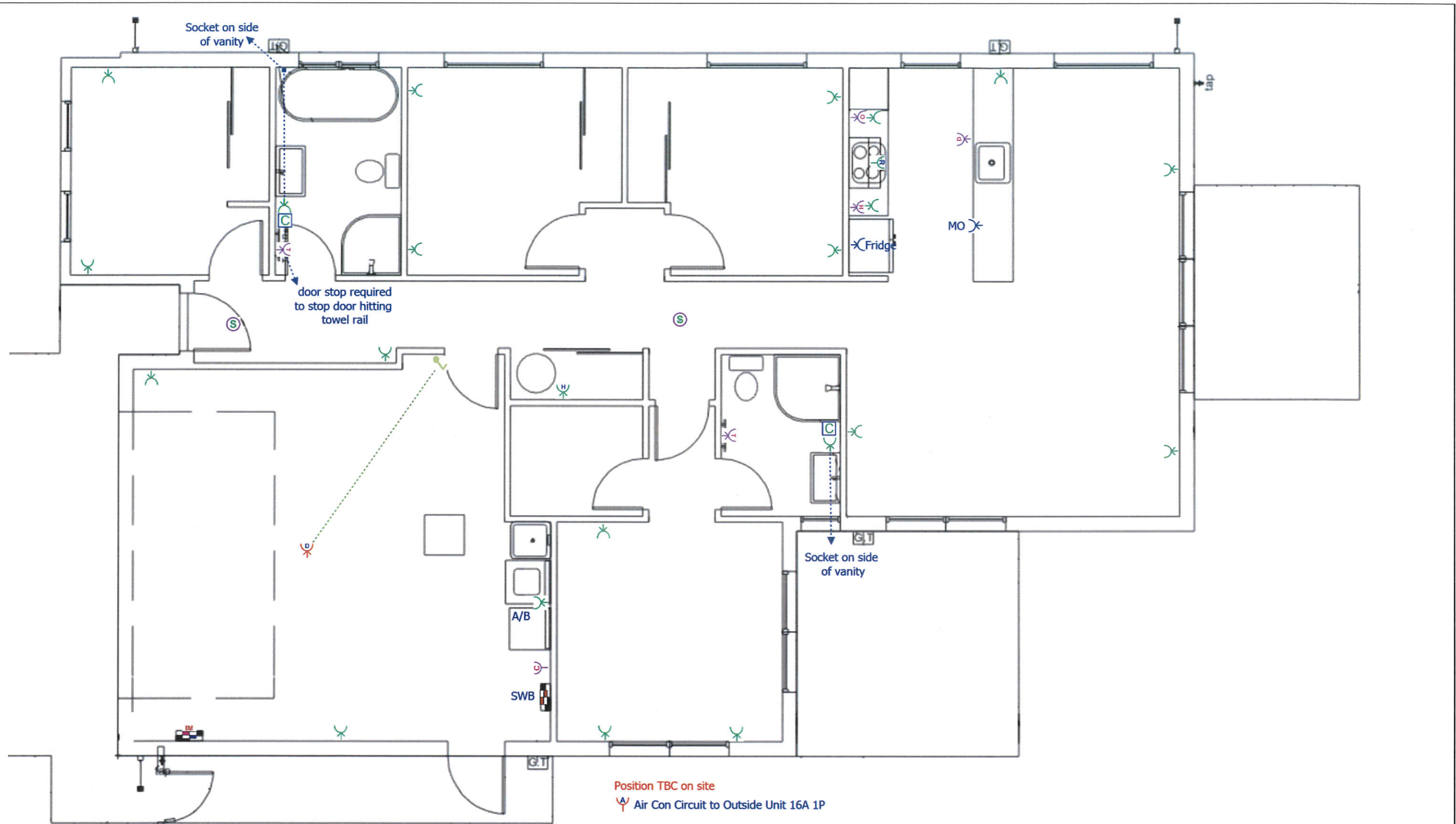
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Designer:	Teresa	Date:	22 Aug 19	Client:	Stonewood Homes	BC Ref:		Site Address:	Faringdon Green	Job#:	
Dwg:	XXXXXXXXXX	Rev:	XX	Scale:	1 : 10	Customer:					



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Signature: _____ Date: _____



Electrical Power

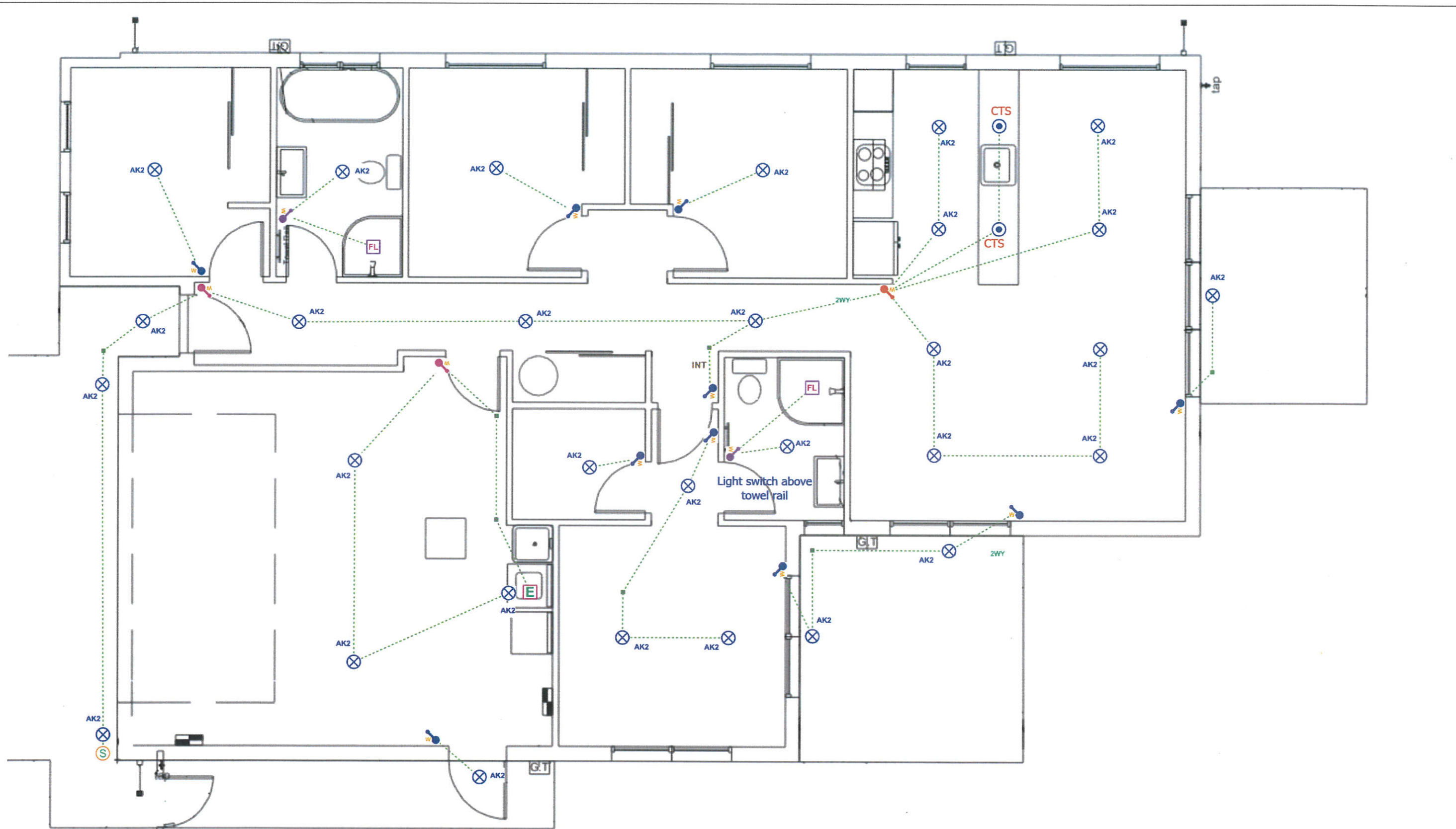
Green - Stonewood Homes,
Rolleston, Christchurch

Christchurch
PO Box 9302
Tower Junction
Christchurch

Phone: 03 338 4238
Fax: 03 338 4239
Web: smartsystems.net.nz
Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale



Signature: _____ Date: _____



Lighting Circuits

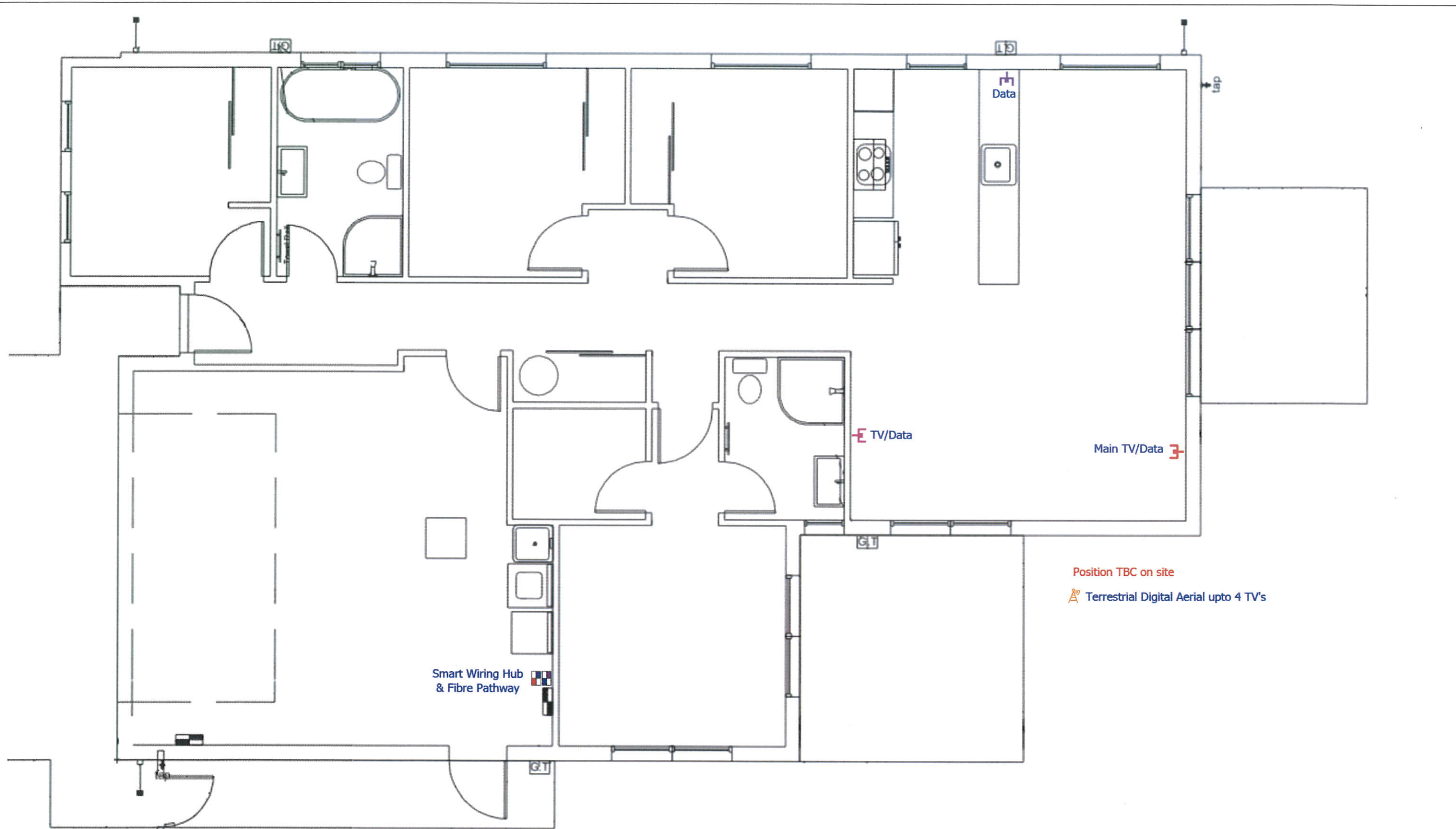
Green - Stonewood Homes,
Rolleston, Christchurch

Christchurch
PO Box 9302
Tower Junction
Christchurch

Phone: 03 338 4238
Fax: 03 338 4239
Web: smartsystems.net.nz
Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale



Signature: _____ Date: _____



Structured Cabling

Green - Stonewood Homes,
Rolleston, Christchurch

Christchurch
PO Box 9302
Tower Junction
Christchurch

Phone: 03 338 4238
Fax: 03 338 4239
Web: smartsystems.net.nz
Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale