

\$540,000

Lot 35 The Link, Rolleston

STONEWOOD
HOMES



For Sale

House and Land Package

Dwelling Size	Section Size				
173m ²	450m ²	3	1	2	2

With reserve outlook this home features three bedrooms, master with ensuite and walk-in robe, open plan living, dining and kitchen with walk-in pantry, family bathroom and internal access double garaging. Well appointed for the sun on an easy care landscaped section, offering quality fixtures and fittings throughout and finished to a high standard.

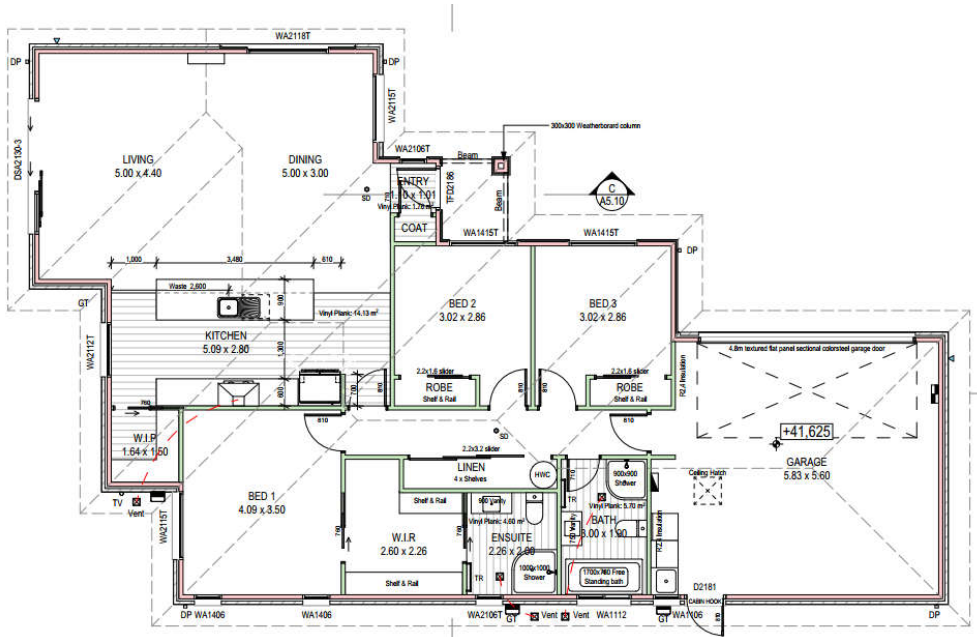
Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fastest growing area. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only for a short drive to central Rolleston with a shopping complex to cater all requirements.

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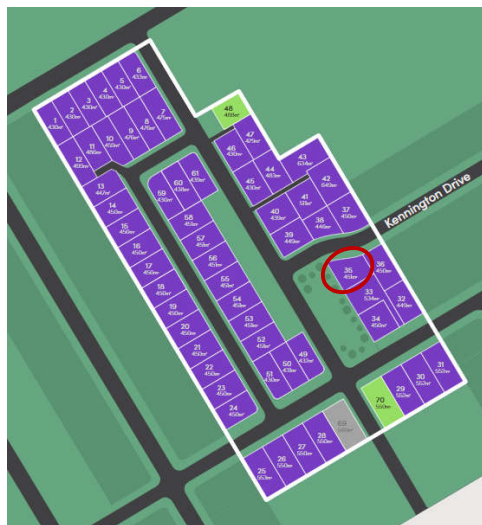
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Quality cladding selections	Metal pressed tile roof	2.42m ceiling height
1.98m internal door height	Windsor door hardware	Designer kitchen
Bosch appliances	Italian tapware	LED light fittings
Norman Ellison carpets	8.0kw heatpump	Fully landscaped
Reserve outlook	After care service	10 year Master Build guarantee

Floor Plan:



Location:



Disclaimer: This material is for the use of illustrative and guidance purposes. All efforts have been made by Stonewood Homes Christchurch to ensure the information correctly illustrates the dwelling however Stonewood Homes accept no responsibility for any variances which maybe become apparent once the build commences.

GENERAL

Guarantee:	10 year Master Build guarantee
Warranty:	365 day warranty period
Insurance:	Builders risk insurance

STRUCTURE

Foundation/floor slab:	TC1 RibRaft
Framing:	2.42m NZ5S 3602:2003 with building wrap – 90mm LVL
Trusses:	Kiln dried pine
Cladding (main):	Brick – Austral 70 series – Origin series
Cladding (feature):	James Hardie linea

ROOFING

Roof:	25° Gerard metal pressed tile—Corona Shake
Downpipes:	Colorsteel rectangular 75x55mm
Fascia and gutter:	Dimond metal fascia and quad gutter

WINDOWS AND DOORS

Entry door:	APL 860mm Latitude with urbo lever
Windows:	Vantage aluminium joinery with grey tint and urbo hardware
Garage door:	Coloursteel flat panel woodgrain 4.8m
Internal doors:	1980mm Straten (horizontal V groove polycore)
Wardrobe doors:	Horizontal V groove
Window coverings:	Excluded

INTERIOR LINING

Insulation:	R2.4 wall batts, R4.0 ceiling batts excluding garage
Plasterboard:	GIB board - 10mm to walls, aqualine to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009
Gib external corners:	Gib square stop
Painting:	Resene Zylone
Soffit linings:	Hardiflex 4.5mm

INTERIOR JOINERY

Internal door hardware:	Windsor Futura – Apex brushed nickel
Skirting:	60mm bevel
Wardrobe shelving:	MDF shelf and rail
Cupboard shelving:	MDF shelves x4

KITCHEN AND LAUNDRY

Kitchen joinery:	As per plan
Tapware:	Paffoni Ringo—Black
Oven:	Bosch HBF133BSOA – stainless steel oven
Hob:	Bosch PKE611K17A – ceramic cooktop
Dishwasher:	Bosch SMU50E75AU – stainless steel dishwasher
Rangehood:	Bosch DWB97DM50A—canopy rangehood
Laundry joinery:	Raymor supertub

FLOORING

Carpet:	Norman Ellison
Vinyl planking:	Karndean Knightplank

ELECTRICAL

Plugs / Light Fittings:	As per plan
Heatpump:	Fujitsu 8.0kw ASTG24LFCC

BATHROOMS AND PLUMBING

Vanities:	Raymor armada—white
Mirrors:	Polished edge
Toilets:	Englefield Evora with standard seat
Showers:	Arena curved with moulded wall
Bath:	Newtech Indus back-to-wall freestanding bath
Tapware:	Paffoni Blu BLU071
Shower slides:	Paffoni Brio ZSAL194CR
Towel rails:	Newtech 5 ladder square heated towel rail
Extractors:	Weiss Clearflow FV160
Hot water cylinder:	Rheem 250L
Exterior taps:	2

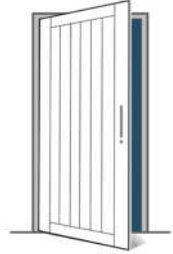
LANDSCAPING

Driveway and patio:	Exposed aggregate
Vehicle crossing:	Included
Soft landscaping:	Lawn and planting to street frontage
Fencing:	1.8m timber paling to boundary to left and rear boundary, pool style fencing to right boundary. Internal fencing and one gate to meet developers requirements.
Letterbox and clothesline:	Urban box on post / Sun King folding frame

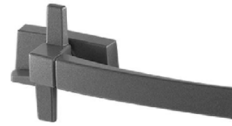
Roof profile



Front door



Window hardware



Garage door profile



Internal doors



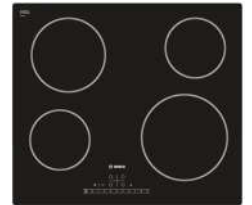
Internal door hardware



Oven



Ceramic cooktop



Rangehood



Dishwasher



Vanities



Kitchen tapware



Towel rail



Showers



Bath



Basin mixers



Shower slides



Shower / bath mixers



Toilet



Towel rail



EXTERIOR

Roof:	Obsidian
Fascia / Gutter / Downpipes:	Ebony
Window joinery:	Ebony
Front door:	Ebony
Front door frame:	Ebony
Garage door:	Ebony
Garage door frame:	Ebony
Soffits:	Resene half black white
Exterior cladding (main):	Alpine with ivory mortar
Exterior cladding (feature):	Resene All Black

INTERIOR

Ceilings:	Resene half black white
Walls:	Resene black white
Interior doors:	Resene black white
Skirting:	Resene black white
Carpet:	Dalton - Woodland
Vinyl plank:	Pale limed oak
Kitchen cabinetry:	Melteca - Bullet pearl. Floating shelves in classic oak.
Kitchen benchtop:	TriStone 12mm – Pure white with negative detail. Black sink with drain-er.
Tiles (kitchen splashback):	White tile (100x200mm) bevel edge with midnight grout
Aluminium wardrobe surrounds:	White

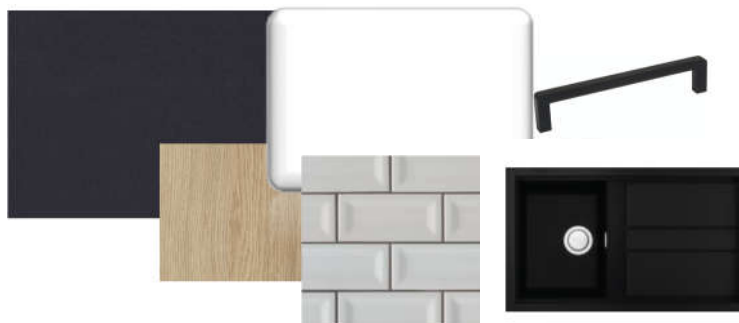
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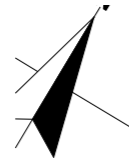
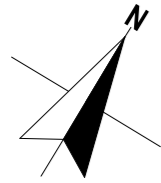


Interior:



Kitchen:





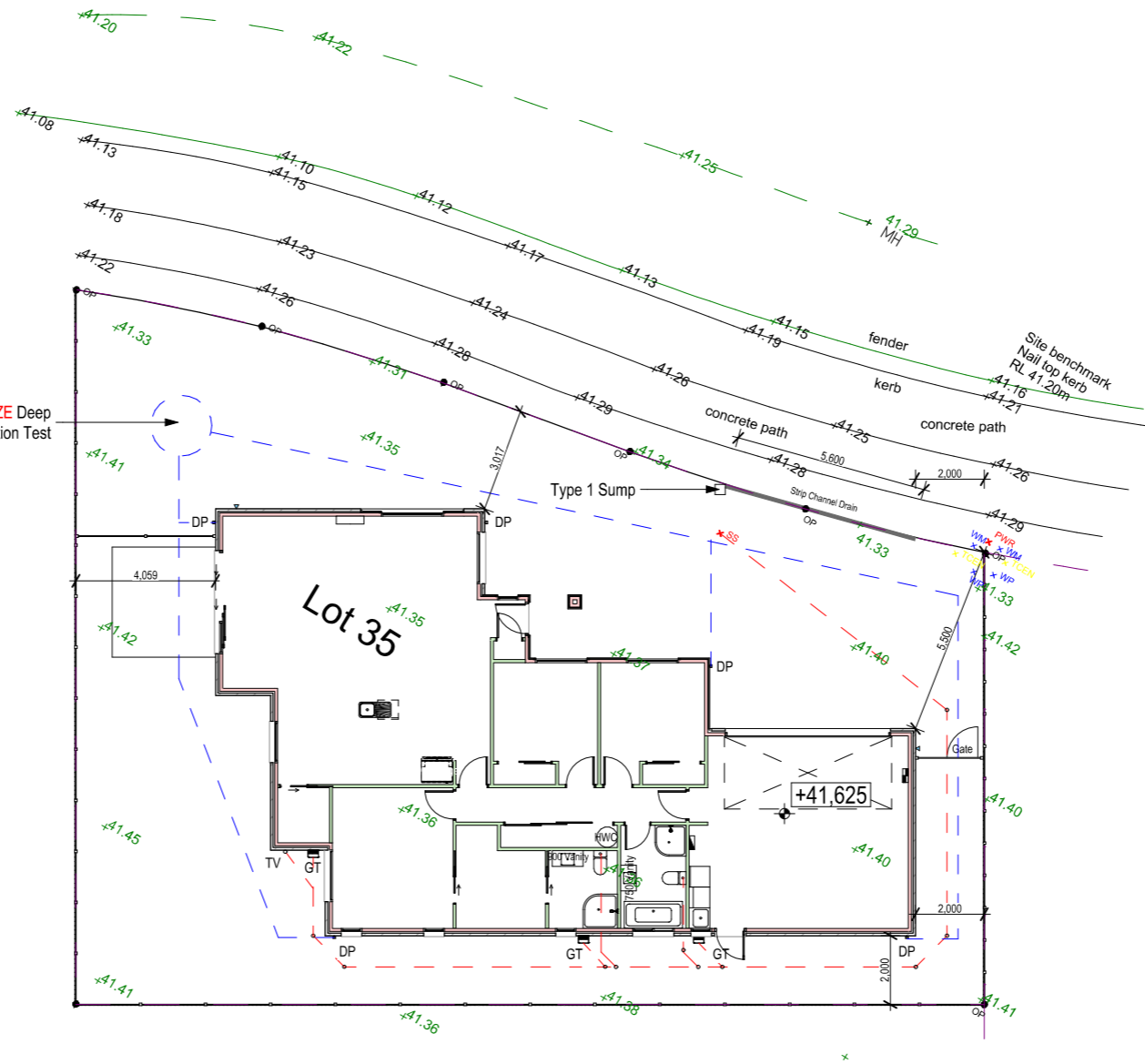
NOTE::
House position to be confirmed on Site Before work commences.
Site plan based on Developers Site Plan.

Contractor to locate all service connections on site prior to earthworks, confirm all boundary setbacks & restrictions comply with current regulations prior to commencement of foundations. Any discrepancies within setbacks & FFL to contact Stonewood Homes immediately before commencement of any earthworks.

GENERAL NOTES

Site Area	#Site Gross Aream ²
Floor Area over Framing	165.95 m ²
Floor Area over Foundation	172.50 m ²
Floor Area over Foundation (incl. Covered Areas)	175.25 m ²
Perimeter over Foundation	64,520.1 ⁶
Site Coverage	#Coverage% (40% Allowable)
Impervious Surface Area	61.23m ² (14.23% Excluding Dwelling & Garage)
Exposure Zone	C
Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 1.0Kpa
Territorial Authority Planning Zone	Selwyn District Council Living Z
General:	Concept subject to TA rules and regulations. All dimensions to be confirmed on site. Concept may be subject to subdivision developer's approval
Foundation Type:	TC1 Firth Ribraft or TC2 Engineer Foundation Design
Site Information:	Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc is unknown - to be confirmed when information becomes available.
Landscaping:	This plan is indicative only. Landscaping to be confirmed by the client. All Fencing to comply with the relevant Covenants.
Boundary Information:	Confirmed with Certificate of Title
Site Levels:	No Levels obtained
Historical Interest:	N/A
Existing Use Rights:	N/A
Flood Management Area:	N/A
Non Compliances Requiring RC:	N/A
Covenant Non Compliances:	N/A

Connect stormwater to **SIZE** Deep Rock-Filled Soak Pit as per Percolation Test



LEGEND

Ref	Fixture	Waste Size	Gradient
WC	Water Closet	80mm	1:60
B	Bath	40mm	1:40
SH	Shower	40mm	1:40
S	Kitchen Sink + DW	50mm	1:40
Van.U	Vanity Unit	40mm	1:40
WHB	Wash Hand Basin	40mm	1:40
TUB	Laundry Tub + WM	40mm	1:40
HWC	Hot Water Cylinder	20mm	1:400
WM	Washing Machine	Discharge to TUB	
GT	Gully Trap		
RGT	Relief Gully Trap		
RP	Rodding Point		
TV	Terminal Vent	80mm	
BV	Branch Vent	40mm	
DP	Downpipe	75 x 50mm	
IP	Inspection Point		
AAV	Air Admittance Valve		
HT	Hose Tap		
HP	Heat Pump		
SS	Soil Stack	100mm	

- 100mm uPVC surface water drain at 1:100 gradient to laterals at boundary. (SW)
- 100mm uPVC foul water drain at 1:60 gradient to laterals at boundary. (SS)

General Note:

All plumbing and drainage to comply with Acceptable Solutions G13/AS/AS2 by qualified tradesman. Allow to check all dimensions and falls of drains onsite prior to installation. Use 75x50mm downpipes. Contractor to locate all service connections on site prior to earthworks, confirm all boundary setbacks & restrictions comply with current regulations prior to commencement of foundations. All waste pipes PVC. Sizes, fall, venting & discharge to be confirmed by NZ qualified plumber. Confirm positions of available services cabling etc. on site prior to any excavation. Internal water pipes to be Polybutylene. All pipework & pipes exposed to freezing to be lagged with closed cell foam.

Note:

- Relief Gully Trap is to be positioned so that the top of the gully dish is no less than 150mm below the overflow level of the lowest sanitary fixture served by the drainage system.
- Position of drain connections at street laterals to be confirmed on site.
- Allow to thermally insulate all exterior pipework & valves exposed to external weather conditions.

Drain pipes discharging to GT:
- 25mm min air gap between all pipes & GT.

1.01

Site Plan

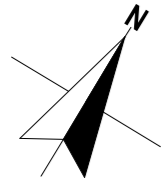
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Steps & Paths:
A Step/s or appropriate landscaping is to be provided if drop from external doors is greater than 190mm from FFL to FGL. All access routes must provide a non-slip surface in accordance to NZBC D1/AS Table 2. Convey surface water from sealed drive to an appropriate approved outfall.

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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					AMENDMENT DATE: #Amendment Date	TECHNICIAN: Michael	VERSION: 1	CODE: 200077	

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GENERAL NOTES

Area Over Roof (on flat) to face of fascia:	207.52 m ²
Roof Pitch	25°
Eaves Width	600mm
Gable Width	450mm
Height To Underside Of Truss	2455mm
Stub End	N/A
Lintel Height	2125mm
Soffit Height	2110mm
Soffit Type	Flat
Raised ceiling	N/A
Raking ceiling	N/A
Internal Door Leaf Height	Standard

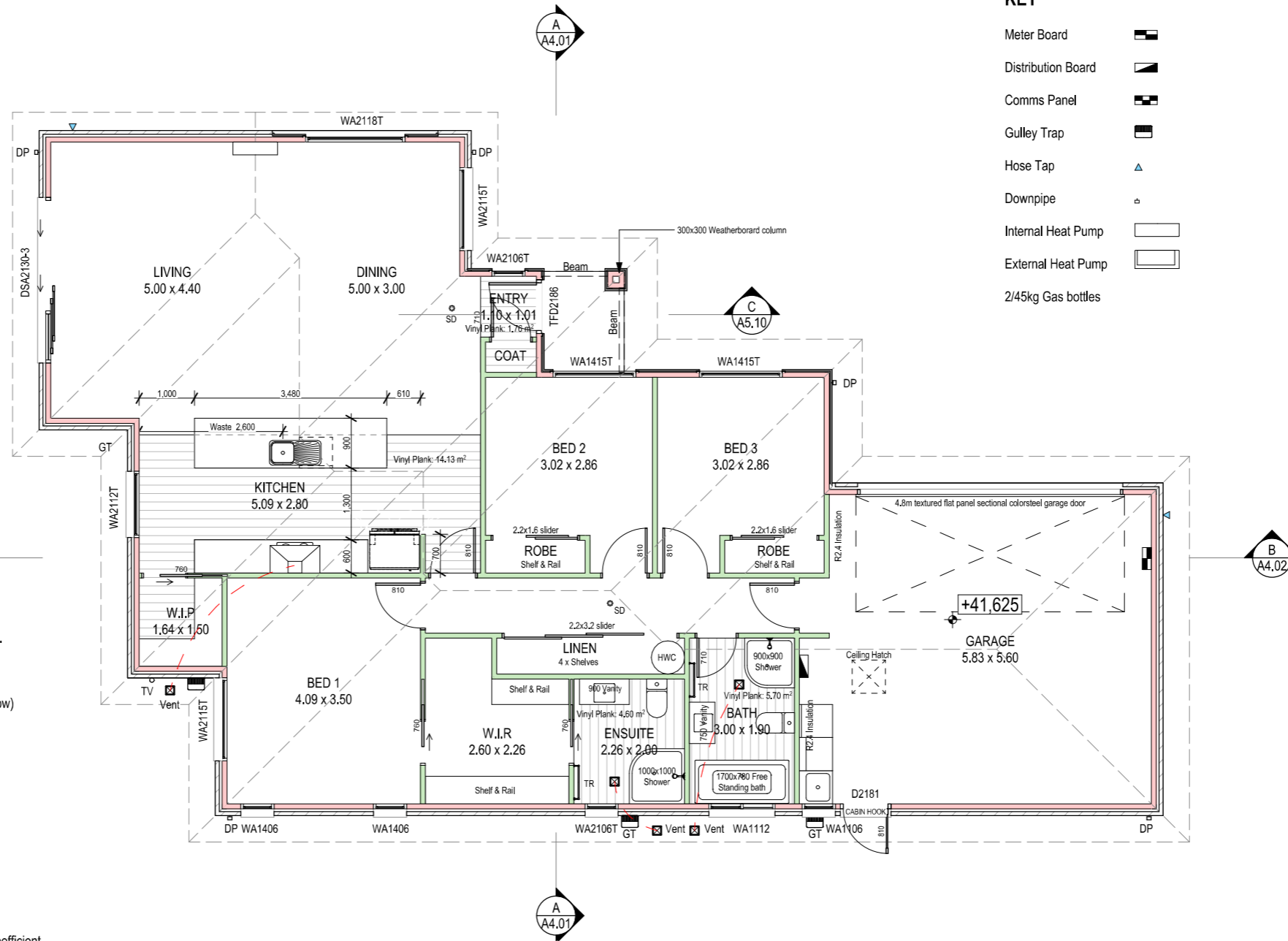
Linings	Gib Board 13mm Ceilings & 10mm walls.
Ceiling Battens	Rondo Metal battens & 600crs Note: in High Wind Zone
Heating:	Heat pump to be fixed in position shown on the drawings. Refer to specifications for more information.
Ceiling Vents:	Bathroom & Ensuite to vent through soffit linings Laundry to vent directly to exterior (unless opening window) Range Hood to exit through soffit lining.
Smoke Alarms:	Required within 3m of all sleeping areas, change in level & entry/exits as per NZS 4514 & BRANZ Bulletins No's 252 & 309
Extras:	N/A

FLOOR PLAN NOTES:

- All glazing to comply with NZS4223
- All hard floor finishes to comply with NZBC D1/AS Table 2. Floor tiles to be non-slip & have a slip coefficient value of 0.35 - 0.65 for grit finished ceramic tiles.
- Hot water pipes to be sized according to NZBC G12 & NZS4305:1996. Mains pressure: 15mm dia. allows 12mm max. pipe length. Pipe length beyond this must be lagged.
- Satin enamel wall finish to bathroom, ensuite & those walls adjacent to sinks etc, in kitchen & laundry. One row of tiles to be used above basins, vanities & benches. Bottom edge to be filled with fungus/mold resistant sealant.

WATER PROOFING MEMBRANE NOTE:

Wetseal waterproofing membrane required to tiled bathrooms with tiled rebated/level access showers.



KEY

Meter Board	
Distribution Board	
Comms Panel	
Gully Trap	
Hose Tap	
Downpipe	
Internal Heat Pump	
External Heat Pump	
245kg Gas bottles	

GENERAL FLOOR PLAN NOTES

MISCELLANEOUS:
Dimensions shown are to the frame, GIB thickness not shown.
Refer to Construction Schedule (Page 2 & 3 of Specification) for additional construction information.
Entry through external doors
Mechanical ventilation
Air Seals to have PEF rod & low expansion foam
All windows and doors centered in room unless shown otherwise

FOUNDATION SYSTEM
Foundation Firth Ribraft

WALL FRAMING - designed to high wind zone
Stud Height: 2420 mm
Exterior & Interior: 2455mm
Loadbearing wall: 90x45mm studs @ 600 mm crs
Dwangs Ext: 90x45 @ 800 crs
Non loadbearing: 90x45mm studs @ 600 mm crs
Dwangs Int: 90x45mm @ 800mm crs max

LINTELS AND BEAMS
Lintels and beams can be found on the Truss Design

BUILDING WRAP
Watergate building wrap, refer to manufacturers specifications attached

DOORS
Internal Height: 1980mm
Type: Everest (Vertical V groove)
RVG1 MDF
Front Door: APL Latitude 860

INSULATION
Wall - Pink Batts Ultra R2.4 Wall Batts
Ceiling - Pink Batts R4.0 Ceiling Batts

WALL AND CEILING LININGS
Wall - Standard 10mm GIB (unless required for bracing)
Ceiling - Standard 13mm GIB
13mm GIB Aqualine (bathrooms)

Bathroom - 10mm GIB Aqualine
Corner Finish - Square
Ceiling Finish - Square Stopped

FLOOR FINISHES
Carpet & Vinyl Plank

INTERIOR AND EXTERIOR JOINERY
Joinery - Double Glazed Vantage
Standard Aluminium Joinery
Interior - Shelf and rail to wardrobes

WATER HEATING
Electric - Rheem 250L

KITCHEN COOKTOP
Electric Hob

ROOF CLADDING AND STRUCTURE
Battens - 50x50 SG8 H1.2 @ 300crs

GUTTER/FASCIA/DOWNPINES/SOFFITS
Gutter - Dimond Metalline Quad Gutter
Fascia - Dimond Metalline 185 Fascia
Soffits - Hardiflex 4.5mm
Downpipes - Colorsteel Rectangular 75x55mm

Ground Floor Plan

1:100

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					<p>AMENDMENT DATE: #Amendment Date</p>	<p>TECHNICIAN: Michael</p>	<p>VERSION: 1</p>	<p>CODE: 200077</p>

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GENERAL NOTES:

Floor area over framing: 165.95 m²

Insulation: R2.4 Exterior walls (+ interior garage walls)
R4.0 Ceiling (excluding garage)

Typical stud height: 2455mm to underside of truss, 90x45mm SG8 @ 600mm crs max. in High wind zone.

Window lintel height: 2125mm

Internal door leaf height: Standard, unless noted otherwise (OH = Overheight)

General: All exterior window & door lintels by truss manufacturer. Internal non-loadbearing walls to be SG8 graded. All dimensions to be confirmed on site.

FIXING SCHEDULE:

JOINT: FIXING:

Exterior Bottom plate to concrete floor (Non-braced): Lumberlok Bottom Plate Anchors with 75x4mm dia. concrete nails adjacent to anchor 70mm min from edge of slab, as per manufacturers specifications. @ 900mm crs. max as per NZS3604:2011. **Refer to bracing plan for additional hold down fixings.**

Interior bottom plate to concrete floor: 75 x 8mm shot fired fastenings with 16mm washers @ 600mm crs, within 150mm each end of plate. **Refer to bracing plan for additional hold down fixings.**

Stud to Bottom or Top plate: 2/90 x 3.15 end nails + 2/wiredogs (Or Alternative 4.7kN Fixings).

Dwang to stud: 2/100 x 3.15mm skewed nails

Fish plate to Straightened stud: 4/60 x 2.8mm nails each side

Half Joint in top Plate: 4/100 x 3.15mm skewed nails

Lintel to trimming Stud: 4/100 x 3.15mm skewed nails

Standard soffit stringer to stud: 2/100 x 3.75mm nails

Sill trimmer to trimming stud for:
- Trimmer not exceeding 2400mm
- Trimmer not exceeding 3000mm
- Trimmer not exceeding 3600mm

Double top plate to top plate:
Trimming studs together at openings,
Studs & blocking at wall intersections:
Trimming Stud to Doubling Stud immediately under lintels:

Trusses to Top Plate: 100 x 3.75mm nails @ 600mm crs

Ceiling battens to Truss bottom chord: 2/100 x 3.75mm nails

Outrigger to Gable Top Plate: Refer to truss design (Or 2/90mm x 3.15mm skew nails plus 2/wiredogs. (Alt. fixing 4.7Kn)

Outrigger to Truss: 2/75 x 3.15mm nails @ 400mm crs

Flying Rafter to Outrigger: 1/14g self drilling screw, 150mm long

Outrigger Blocking to Top Plate: 2/100 x 3.75mm end nails

Purlins to Truss: 4/100 x 3.75mm skewed nails
1/10g self drilling screw, 80mm long

SCHEDULE OF FRAMING TIMBERS - GRADING AND TREATMENT

Wall framing

Exterior walls & lintels SG8, H1.2, Pinus radiata

Interior walls (loadbearing) SG8, H1.2, Pinus radiata

Interior walls (non-loadbearing) SG8, H1.2, Pinus radiata

Wet Area Bottom plates & Framing SG8, H1.2, Pinus radiata

Cavity battens:

-Dry Cavity SG8, H3.2, Pinus radiata

-Wet Cavity SG8, H3.2, Pinus radiata

Roof framing

Roof trusses - typical SG8, H1.2, Pinus radiata

Gable end truss SG8, H1.2, Pinus radiata

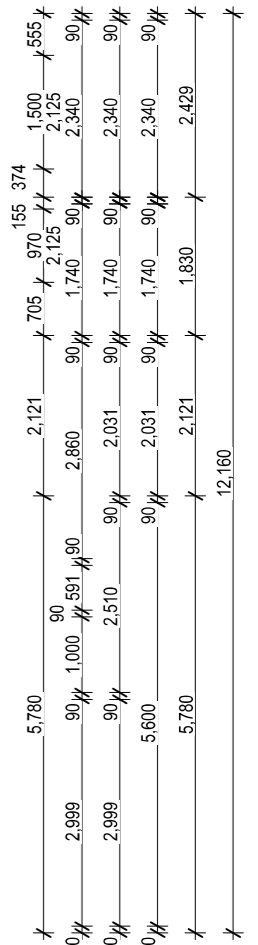
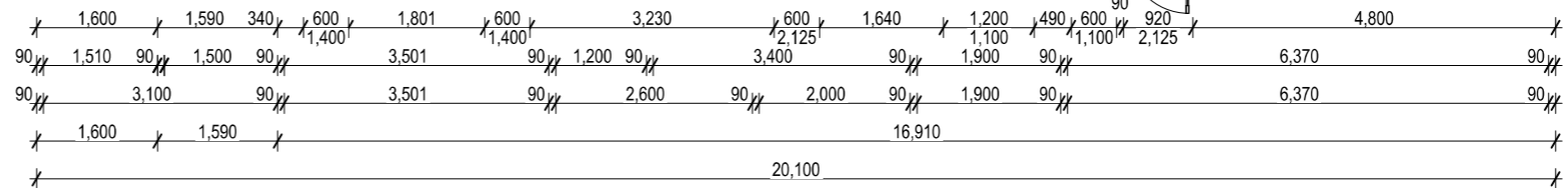
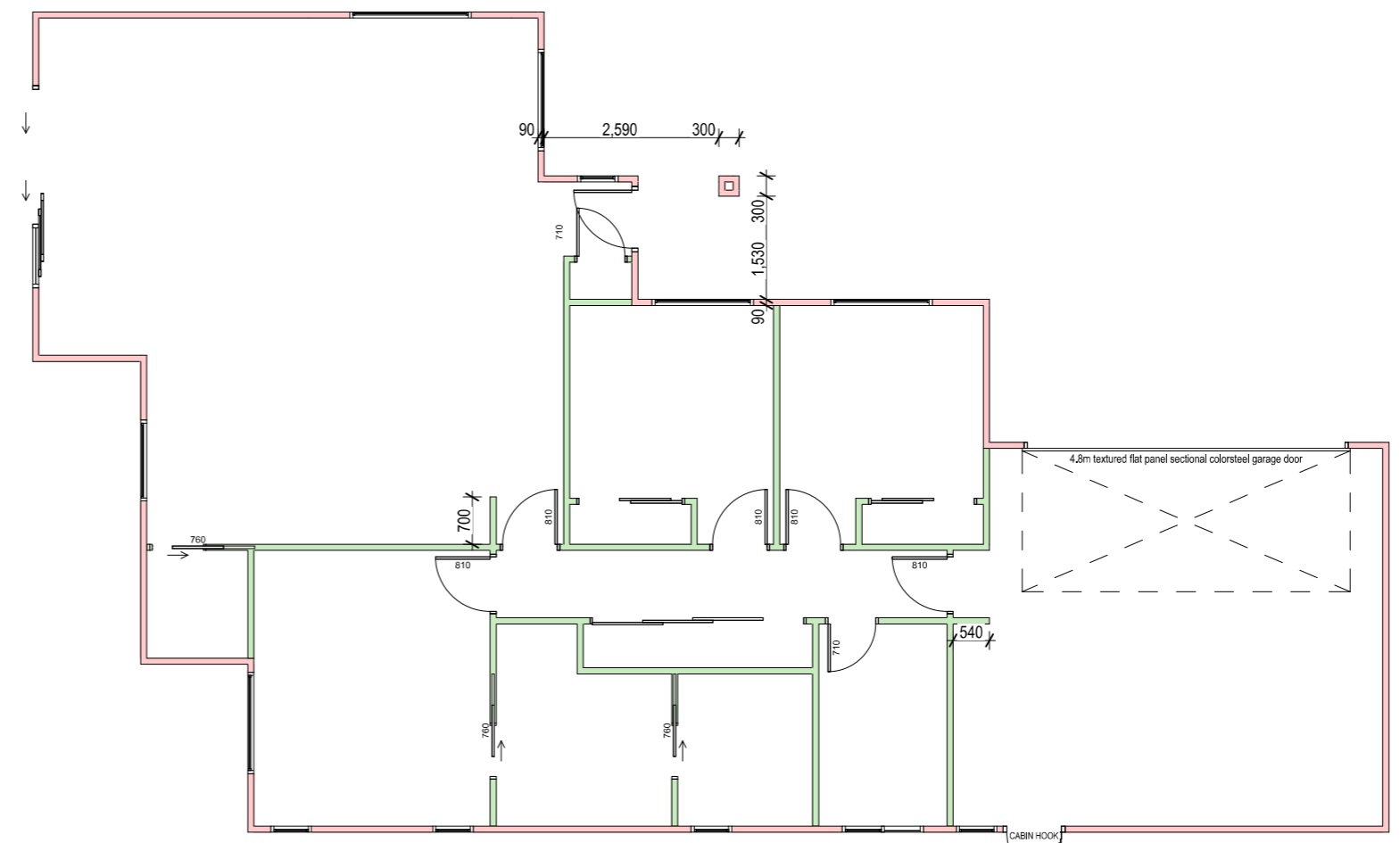
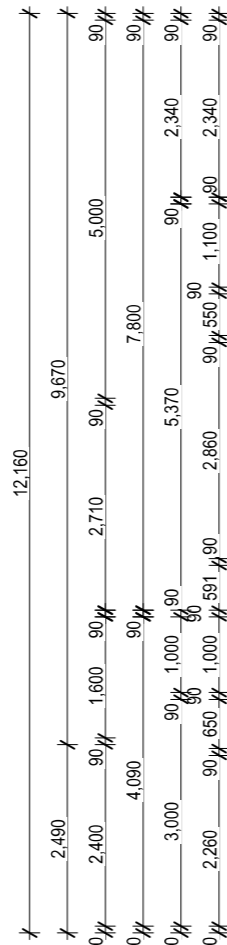
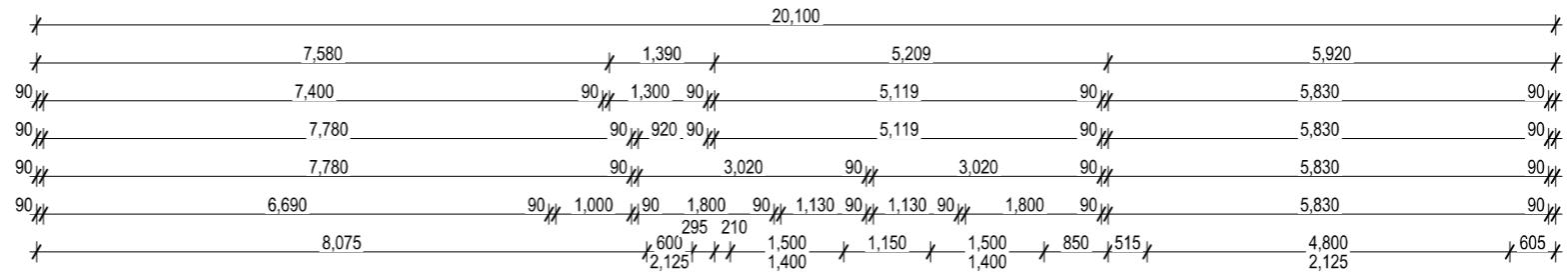
Coved or attic trusses SG8, H1.2, Pinus radiata

Purlins/Battens SG8, H1.2, Pinus radiata

Valley boards, barge boards SG8, H3.2, Pinus radiata

Windows

Framing and reveals Dressed, H3.1, Pinus radiata



Ground Floor Framing Plan

SCALE 1:100 @A3

Sizing of timber plates

Bottom Plate 45mm thick, width to match stud, SG8, H1.2, Pinus Radiata

Top Plate 45mm thick, width to match stud. Additional top plate 35mm thick, 90mm wide if 90mm wall, 140mm wide if 140mm wall. SG8, H1.2, Pinus Radiata

- Indicates insulated wall (R2.4 Batts)
- Indicates non-insulated wall
- Indicates insulated interior wall (R2.4 Batts)
- Indicates Aqualine/Wetarea lined wall

All tiled areas to have dwangs @ 600mm crs. max. (Excludes skirting/upstands)

Plumbing fixtures shown to indicate wet areas. GIB Aqualine/Wetarea Lining to all wet areas as standard.

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GENERAL NOTES

Foundation Type TC1 Firth Ribraft
Wall Cladding Materials Brick veneer & Hardies weatherboard (Smooth)
Roofing Materials Metal tile
Roof Pitch 25deg
Eaves Width 600 & 450 Gable
General: All exterior window & door lintels by truss manufacturer.
 Concept subject to TA rules & regulations.
 Concept subject to subdivision developer's approval.
 All dimensions to be confirmed on site.

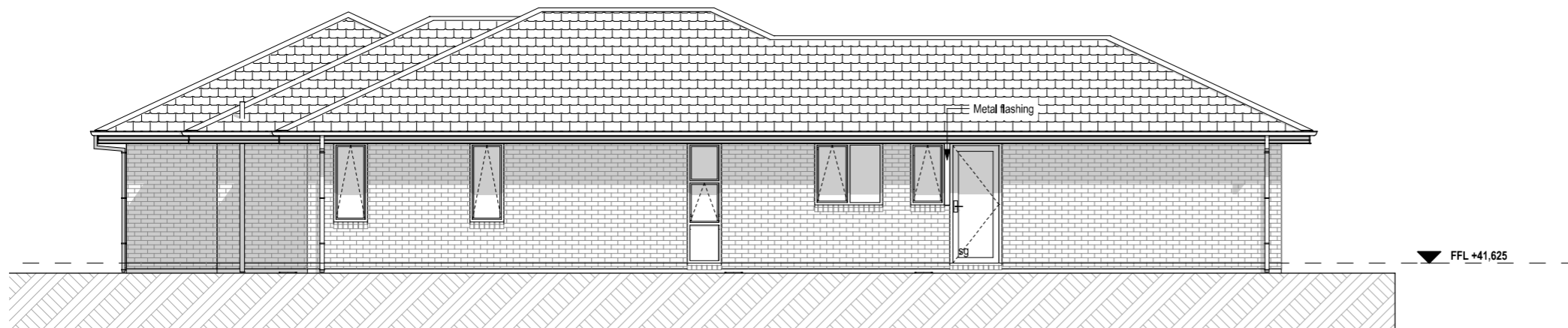
NOTE: Glazing & glazed openings to comply with NZS4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS4211:2008: Specification for performance of windows & New Zealand building Code Clauses: F2 Hazardous materials.



North Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		2



West Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		2

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

<p>© Stonewood Homes PHONE: (03) 354 2344 FAX: (03) 354 2322 ADDRESS: 99 Clarence Street WEB: www.stonewood.co.nz</p>	JOB TITLE: RW 2020 Limited	DRAWING TITLE: Elevations	LEGAL DESCRIPTION: LOT: 35 DP: The Link Rolleston	NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © Stonewood Homes All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Stonewood Homes.	DATE OF ISSUE: 20/08/2020 AMENDMENT DATE: #Amendment Date	DESIGNER: Michael TECHNICIAN: Michael VERSION: 1 CODE:	SCALE: 1:100 JOB # 200077	SHEET: A3.01
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S:\Investment Portfolio\Faringdon The Link\Lot 35 The Link 200077\Archicad\Lot 35 The Link.pln 20/08/2020 Michael.McFie

GENERAL NOTES

Foundation Type TC1 Firth Ribraft
 Wall Cladding Materials Brick veneer & Hardies weatherboard (Smooth)
 Roofing Materials Metal tile
 Roof Pitch 25deg
 Eaves Width 600 & 450 Gable
 General: All exterior window & door lintels by truss manufacturer.
 Concept subject to TA rules & regulations.
 Concept subject to subdivision developer's approval.
 All dimensions to be confirmed on site.

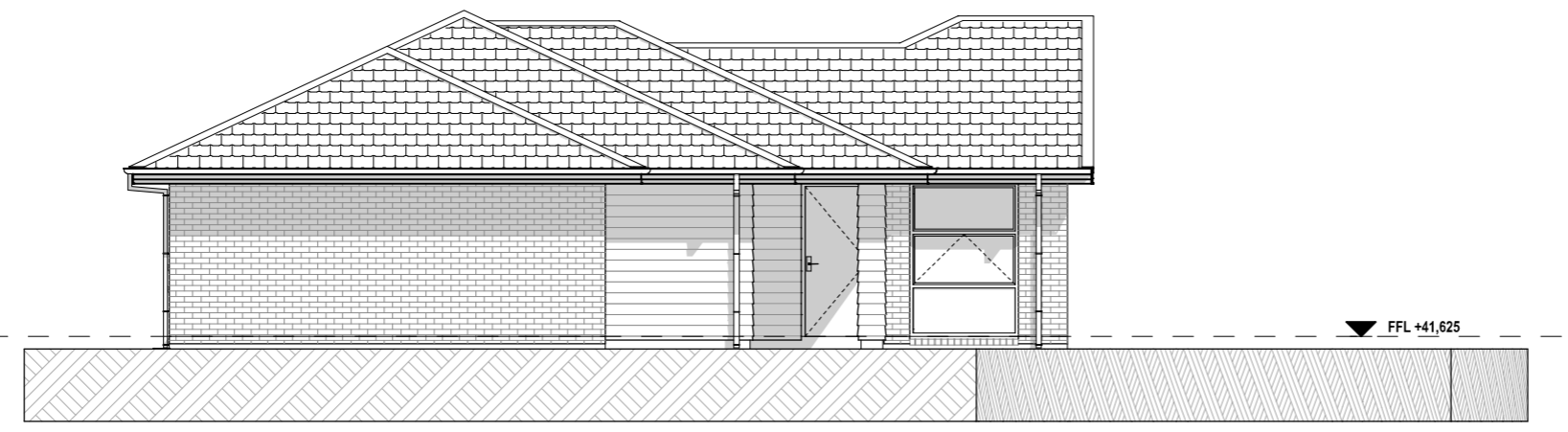
NOTE: Glazing & glazed openings to comply with NZS4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS4211:2008: Specification for performance of windows & New Zealand building Code Clauses: F2 Hazardous materials.



East Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		1



South Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		2

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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 ADDRESS: 99 Clarence Street
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JOB TITLE:
RW 2020 Limited

DRAWING TITLE:
Elevations

LEGAL DESCRIPTION:
 LOT: 35 DP:
 The Link
 Rolleston

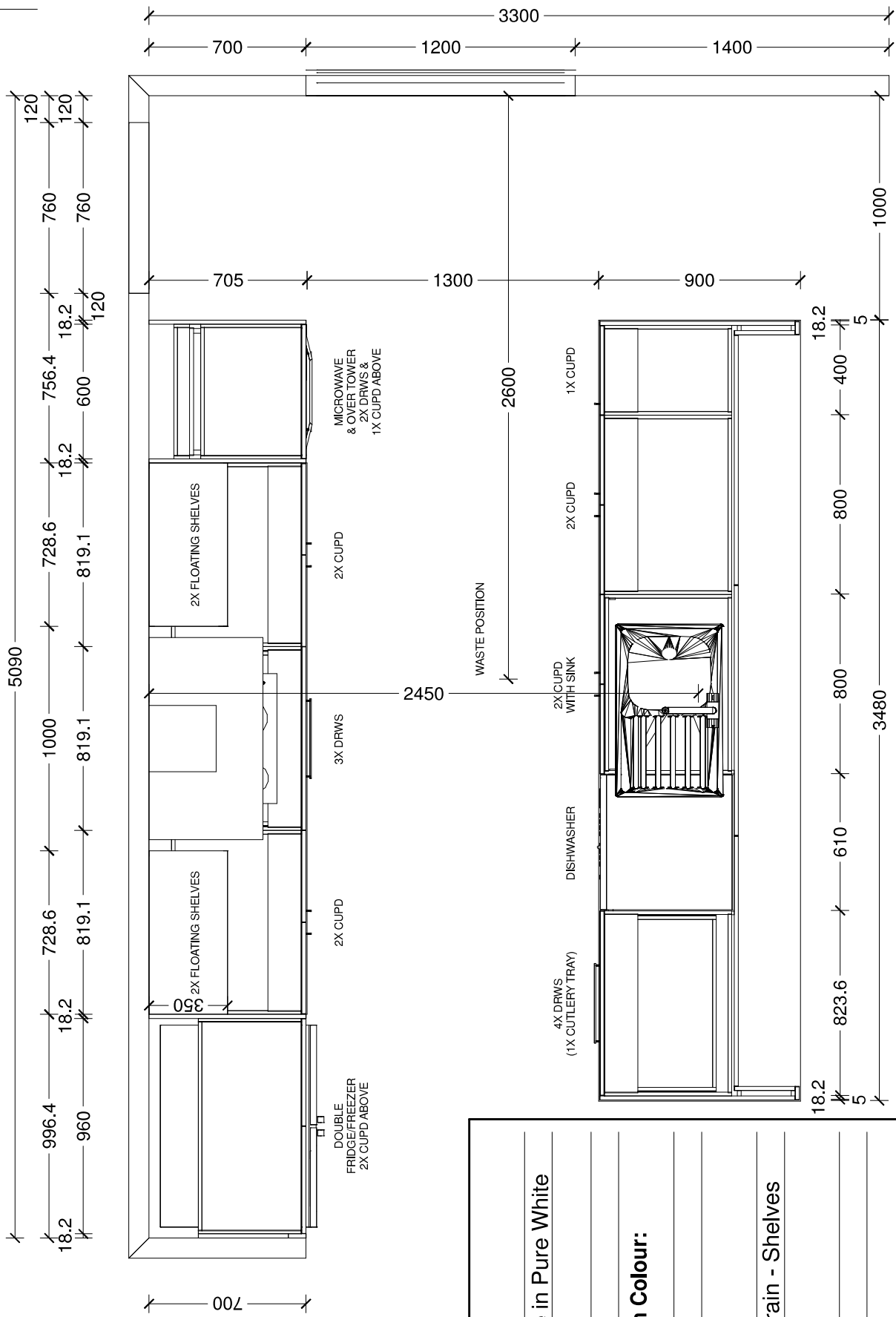
NOTES:
 - Subject to council approval
 - All measurements to be confirmed on site by the contractor prior to the commencement of work
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DATE OF ISSUE:
 20/08/2020
 AMENDMENT DATE:
 #Amendment Date

DESIGNER:
 Michael
 TECHNICIAN:
 Michael
 VERSION: 1
 CODE:

SCALE:
 1:100
 JOB #
 200077

SHEET:
A3.02



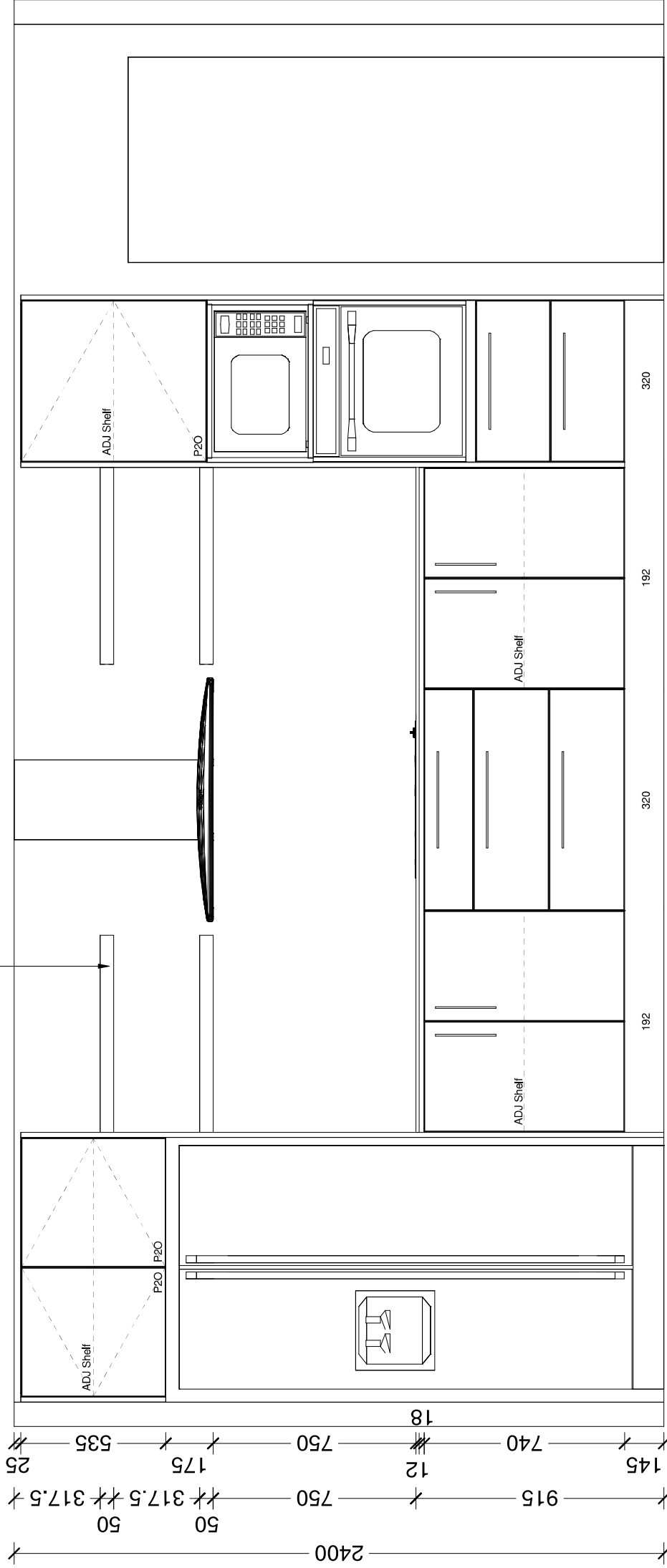
- Benchtop Colour:**
- 12mm square edge Tristone in Pure White
- Main Joinery Colour:**
- Melteca Bullet Pearl
- Negative Detail Below Bench Colour:**
- Melteca Black Pearl
- Feature Joinery Colour:**
- Melteca Classic Oak Puregrain - Shelves
- Handles:**
- 4062-192/320-Matt Black
- Sink:**
- Lazio NZLKB40086 Black single bowl & drainer

Designer: Sarah Molyneux	Date: 06 Aug 20	Client: Stonewood Homes	BC Ref: 200077	Site Address: Lot 35 The Link Faringdon	Job#: 46256
Dwg: Kitchen Plan	Scale: 1 : 25	Customer:			



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.

50MM THICK FLOATING SHELVES IN
MELTECA CLASSIC OAK PUREGRain



Designer: Sarah Molyneux
Dwg: Kitchen Elevation

Date: 06 Aug 20
Scale: 0

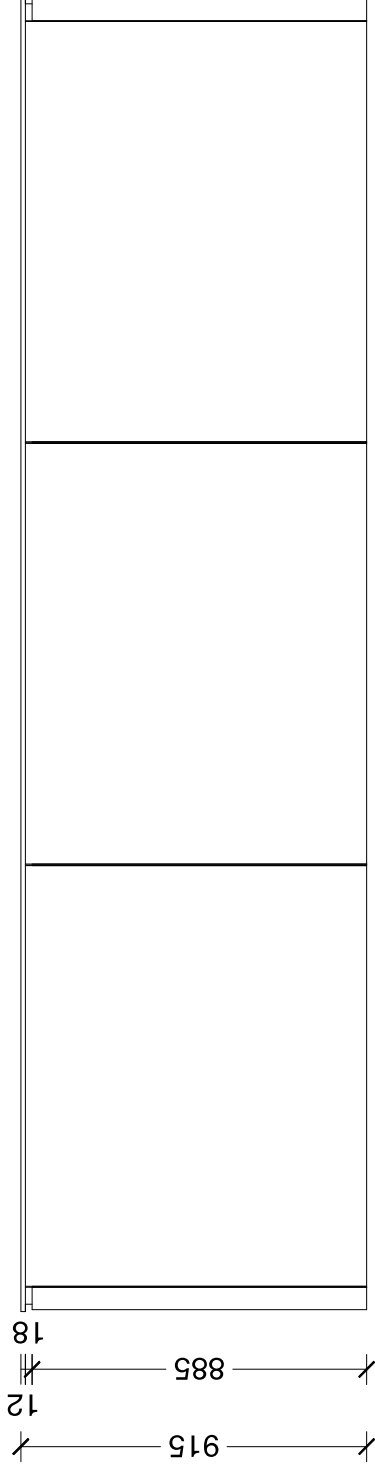
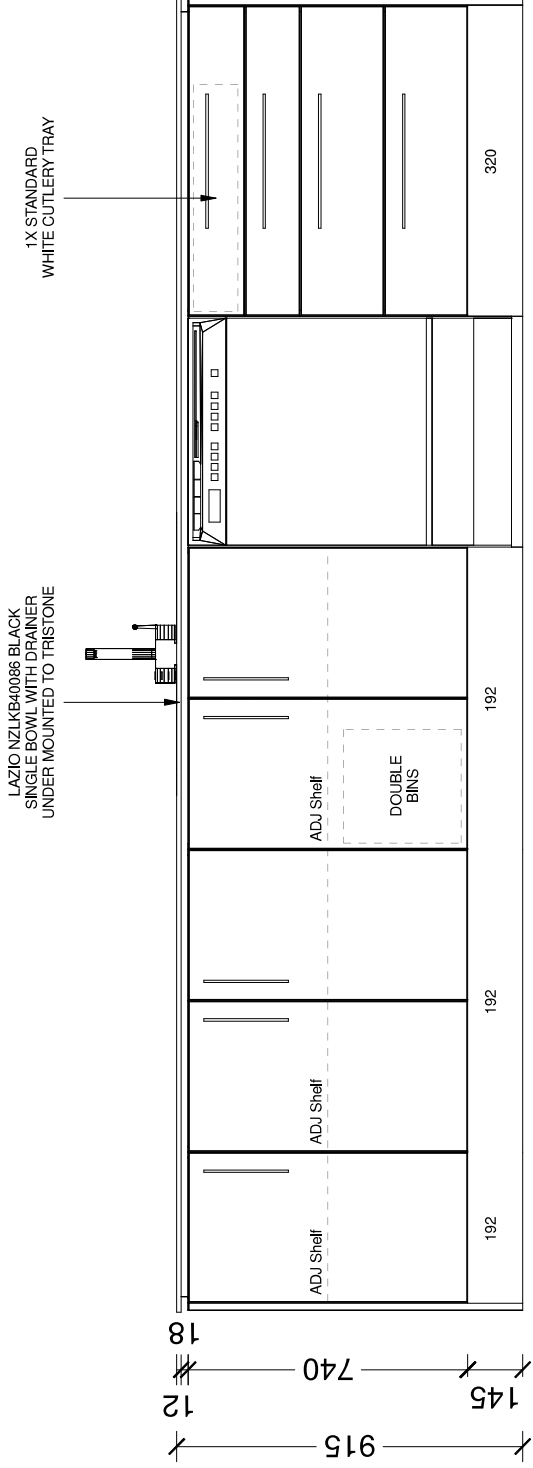
Client: Stonewood Homes
Customer: 0

BC Ref: 200077
Site Address: Lot 35 The Link
Faringdon

Job#: 46256



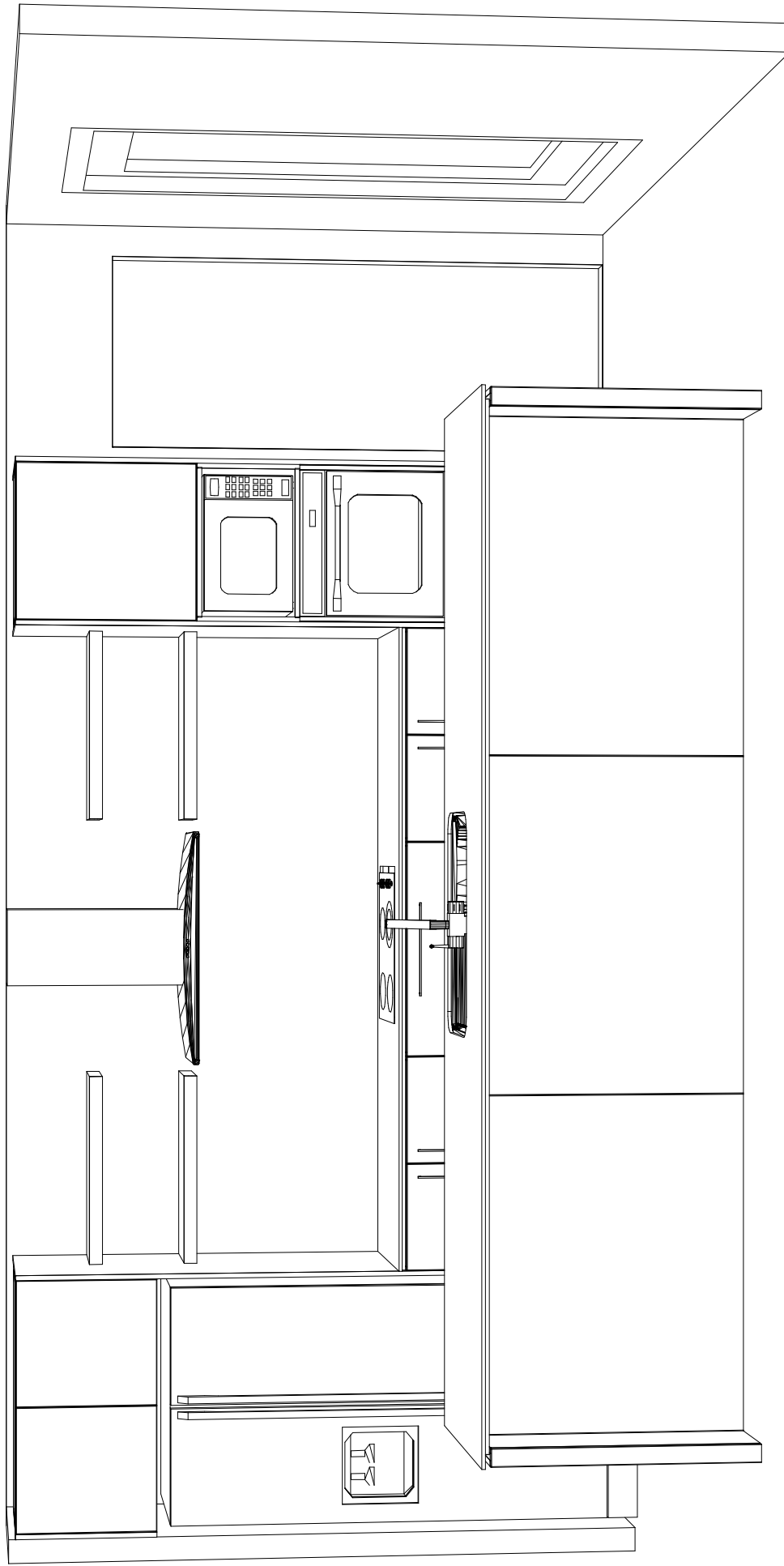
This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer:	Sarah Molyneux	Date:	06 Aug 20	Client:	Stonewood Homes	BC Ref:	200077	Site Address:	Lot 35 The Link Faringdon	Job#:	46256
Dwg:	Kitchen Elevation	Scale:	0	Customer:							



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer: Sarah Molyneux
 Dwg: Kitchen 3D Perspective

Date: 06 Aug 20
 Scale:

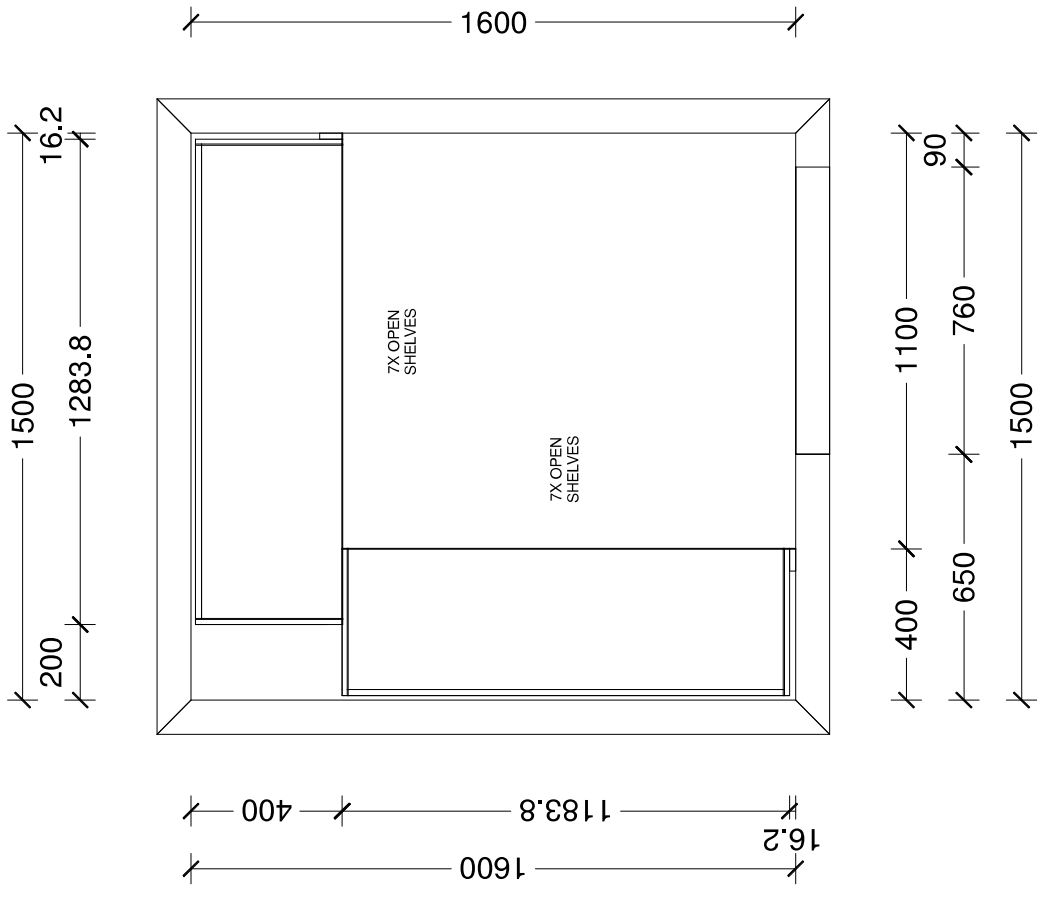
Client: Stonewood Homes
 Customer:

BC Ref: 200077
 Site Address: Lot 35 The Link
 Faringdon

Job#: 46256



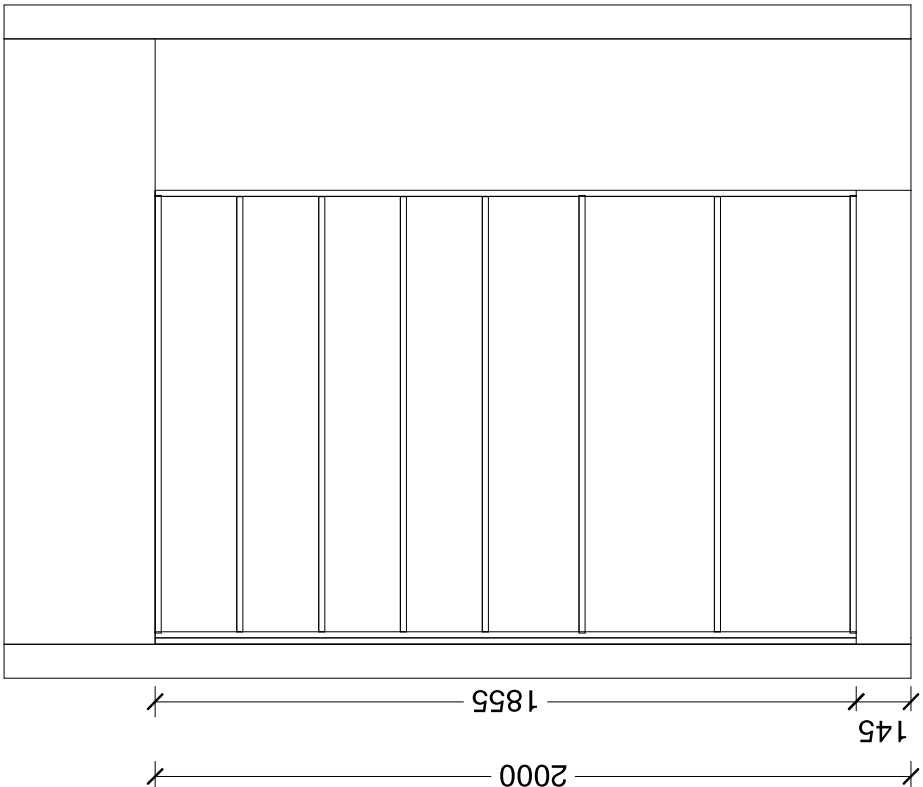
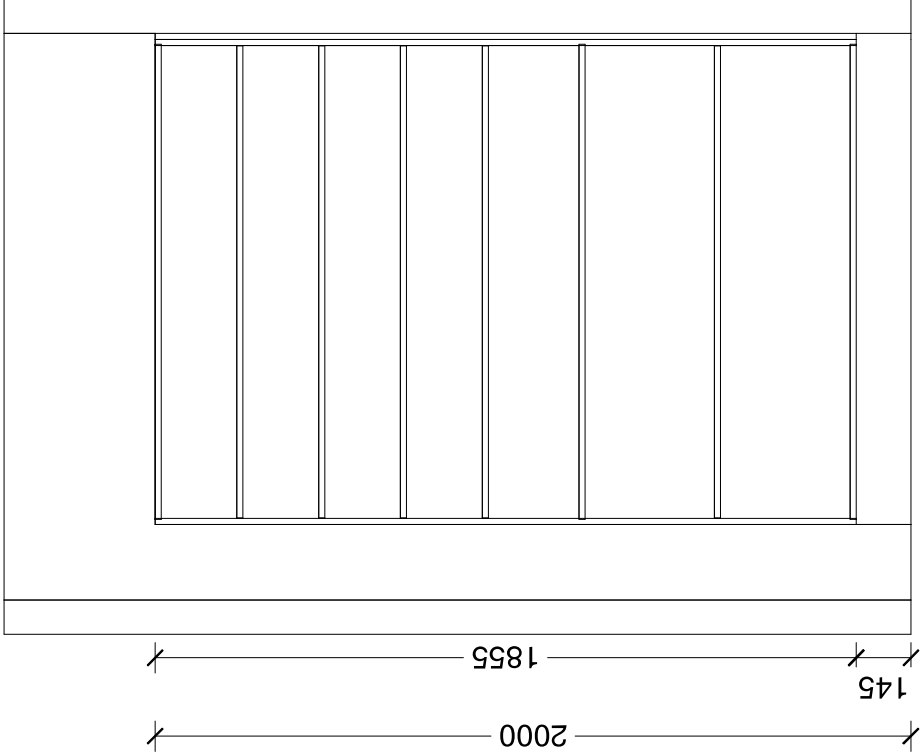
This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer:	Sarah Molyneux	Date:	31 Jul 20	Client:	Stonewood Homes	BC Ref:	200077	Site Address:	Lot 35 The Link Faringdon	Job#:	46256
Dwg:	Pantry Plan	Scale:	1 : 20	Customer:							



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Designer: Sarah Molyneux
 Dwg: Pantry Elevation

Date: 31 Jul 20
 Scale: 1 : 20

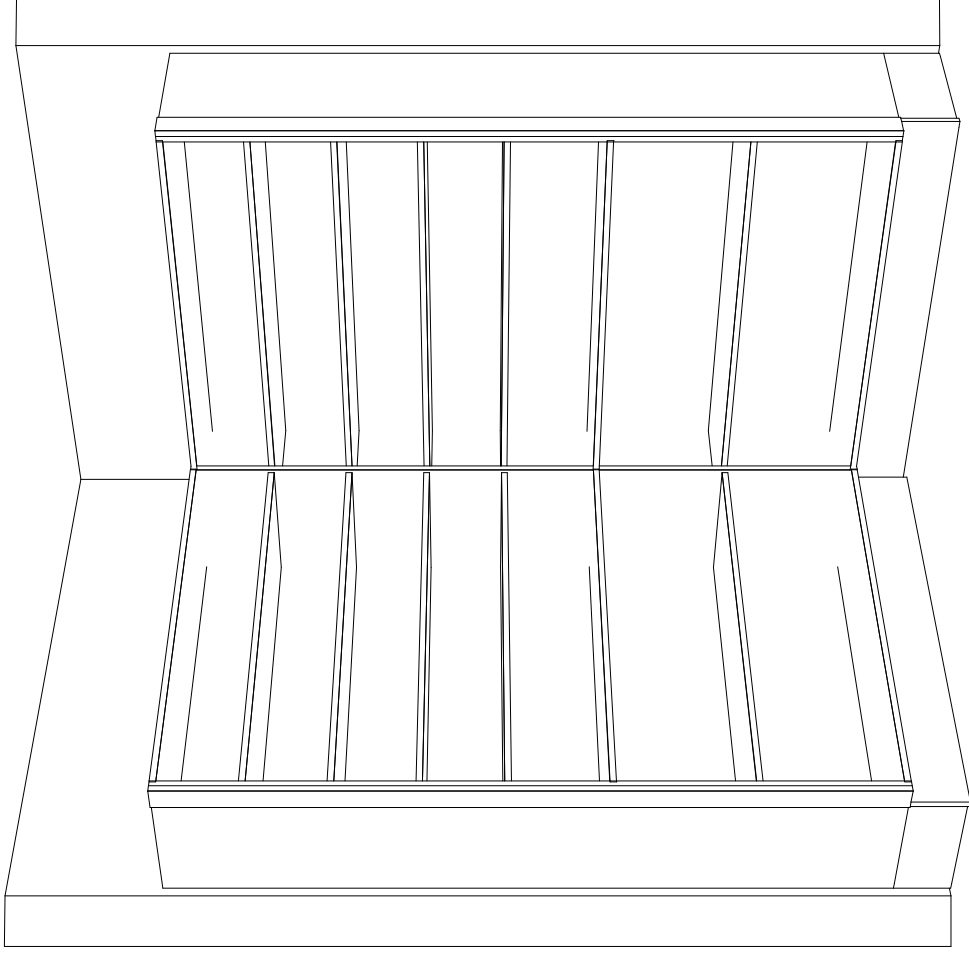
Client: Stonewood Homes
 Customer:

BC Ref: 200077
 Site Address: Lot 35 The Link
 Faringdon

Job#: 46256



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Designer: Sarah Molyneux
Dwg: Pantry 3D Perspective

Date: 31 Jul 20
Scale:

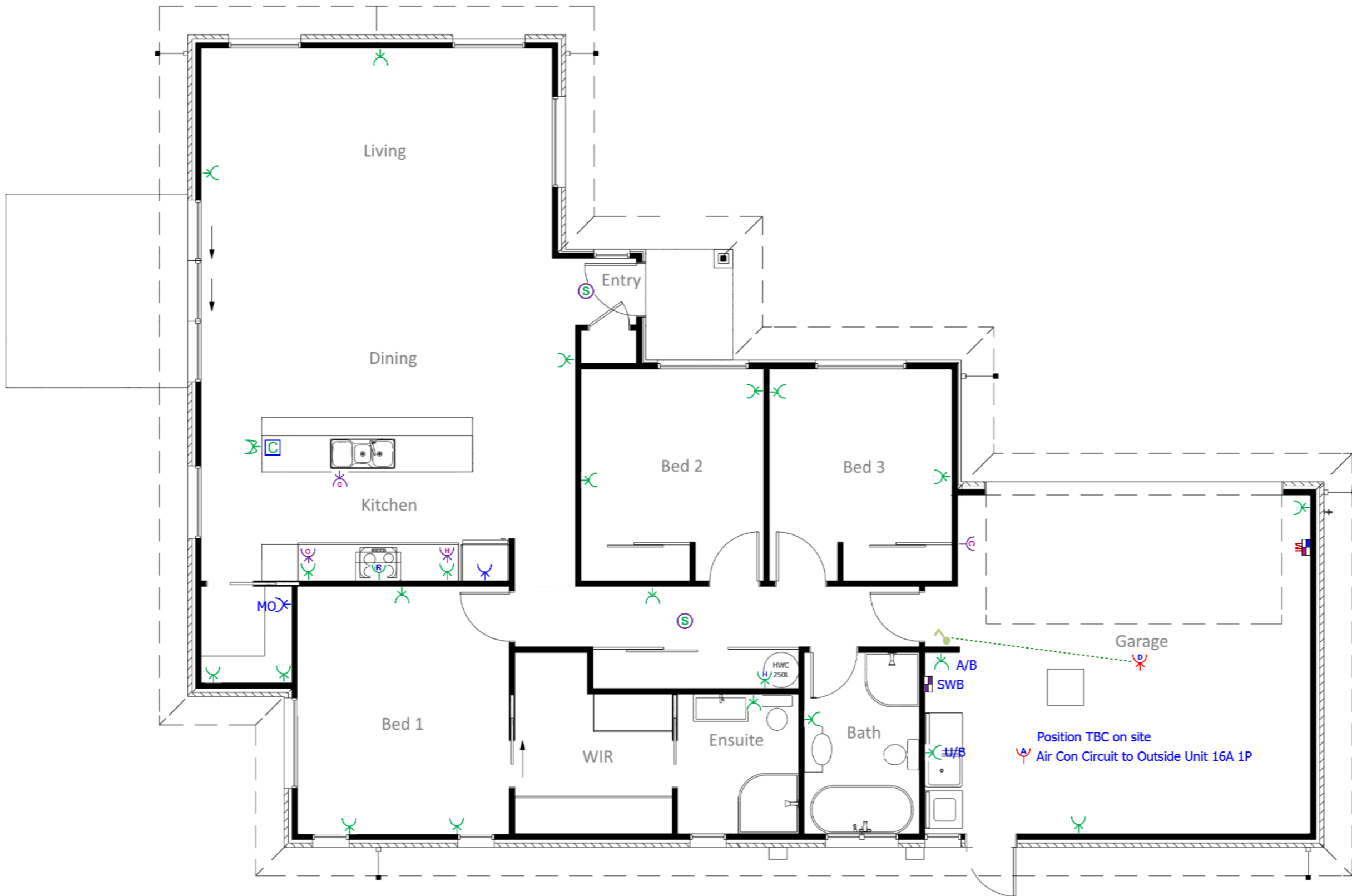
Client: Stonewood Homes
Customer:

BC Ref: 200077
Site Address: Lot 35 The Link
Faringdon

Job#: 46256



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Signature: _____ Date: _____



Electrical Power

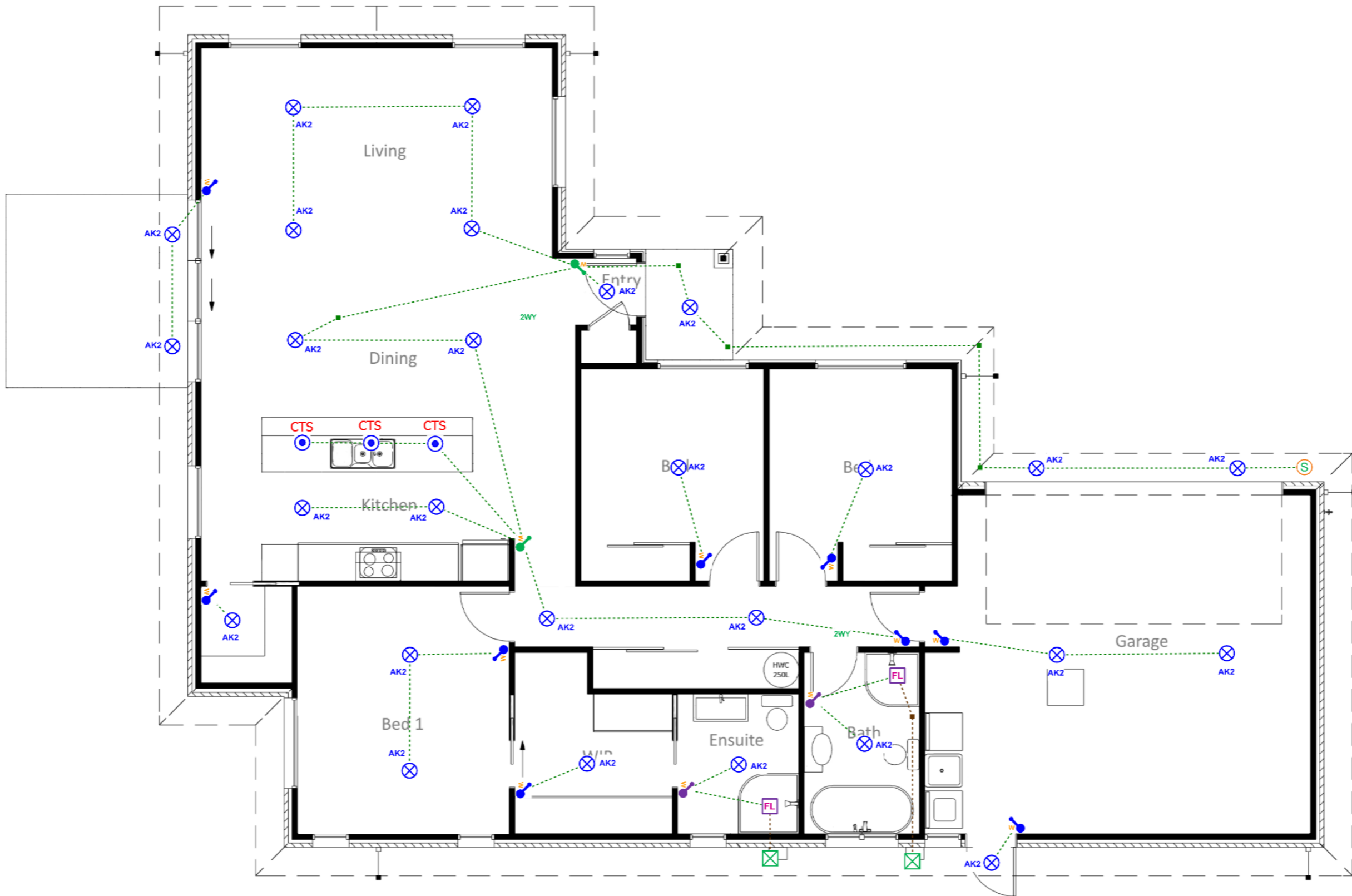
Stonewood Homes- Lot 35 The Link,
 Lot 35 The Link
 Rolleston, Christchurch

Christchurch
 PO Box 9302
 Tower Junction
 Christchurch

Phone: 03 338 4238
 Fax: 03 338 4239
 Web: smartsystems.net.nz
 Email: info@smartsystems.net.nz

Designed by: Donna Bolton

Drawing Not To Scale



Signature: _____ Date: _____



Lighting Circuits

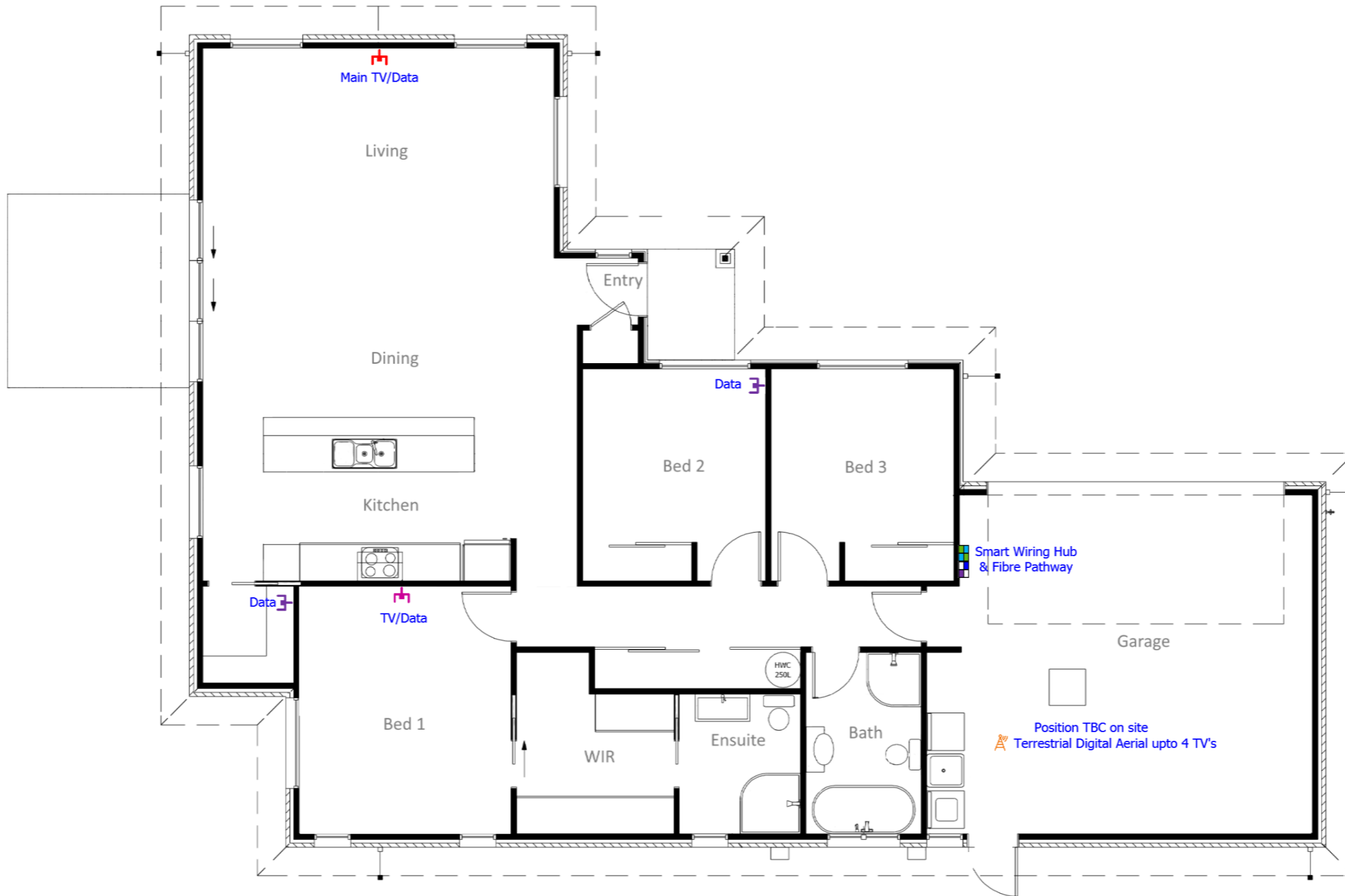
Stonewood Homes- Lot 35 The Link,
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Drawing Not To Scale



Signature: _____ Date: _____



Structured Cabling

Stonewood Homes- Lot 35 The Link,
 Lot 35 The Link
 Rolleston, Christchurch

Christchurch
 PO Box 9302
 Tower Junction
 Christchurch

Phone: 03 338 4238
 Fax: 03 338 4239
 Web: smartsystems.net.nz
 Email: info@smartsystems.net.nz

Designed by: Donna Bolton
















Drawing Not To Scale

Key & Specification









Date 27/07/2020

To Stonewood Homes- Lot 35 The Link
Site Address Lot 35 The Link
Faringdon







Job No 2109 **Customer ID** 106465 **Building Co Order** **Sales Person** Donna Bolton

Class	Job Description	Quantity
Electrical Power:		
 EP011001	Electrical Base for 30 way switchboard	1
 EP025121	Internal flush mounted meter box Please Note: meter box mounted directly above the ducts for the mains cable on the internal side of the wall. No allowance to move meter box for bracing.	1
 EP100082	Rangehood plug socket (no switch) white	1
 EP100110	Smart wiring power sockets for hub white	1
 EP141001	Voltex classis single power socket 10A white	2
 EP141021	Voltex classic double power socket horizontal white 10A	21
 EP141071	Voltex classic garage door single power socket and press switch 10A white	1
 EP141111	Voltex classic single power socket for dishwasher 10A white	1
 EP141151	Voltex classic built in oven connection & isolation switch max 20m from switchboard & up to 20A max	1
 EP141161	Voltex classic electric hob connection & isolation switch up to 20m from switchboard & 32A max	1
 EP141221	Voltex classic hot water cylinder connection standard tariff white	1
 EP142021	Voltex classic double power socket 10A black	1
 EP210001	Air conditioning outside unit power and isolation switch 16A max single phase	1
 EP220001	Smoke detector mains powered with 9V battery backup	2
 EP222501	Capping for sockets and/or switches in joinery	1

Lighting Circuits:

 EL006001	External 180 degree movement sensor white	1
 EL110034	Recessed light circuit	27
 EL110035	Pendant light circuit	3
 EL110201	2 way light circuit	2
 EL130501	Voltex classic 1-gang light switch white	9
 EL130510	Voltex classic 3-gang light switch white	2
 EL130515	Voltex classic 4-gang light switch white	2
 EL180008	Extractor fan/light circuit & install only Please note: fan/light not included	2

Structured Cabling:

	SC001111	Smart wiring base 12 data sockets 20" hub	1
	SC050005	Fibre optic ducted pathway to external demarcation point	1
	SC120151	Voltex classic Cat6 data socket 1Gb/s white	2
	SC240701	Voltex classic TV/data socket cat6 1Gb/s white	1
	SC240801	Voltex classic main TV & data socket cat6 1Gb/s white	1
	SC402001	Digital terrestrial aerial suitable for Freeview HD up to 4 TV outlets Please note: Freeview HD reception requires line of sight to the transmitter and signal levels and quality can not be confirmed until a site visit is completed. Any further hardware or upgrade of aerial materials not included in quote.	1