

\$535,000

Lot 44 Faringdon Green, Rolleston

STONEWOOD
HOMES



For Sale

House and Land Package

Dwelling Size	Section Size				
158m ²	466m ²	3	1	2	2

With a reserve outlook this home features three bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining, family bathroom and internal access double garaging. Well appointed for the sun on an easy care landscaped section including driveway and patios, offering quality fixtures and fittings throughout and finished to a high standard this design is sure to impress.

Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fast growing area. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only for a short drive to central Rolleston with a shopping complex to cater all requirements.

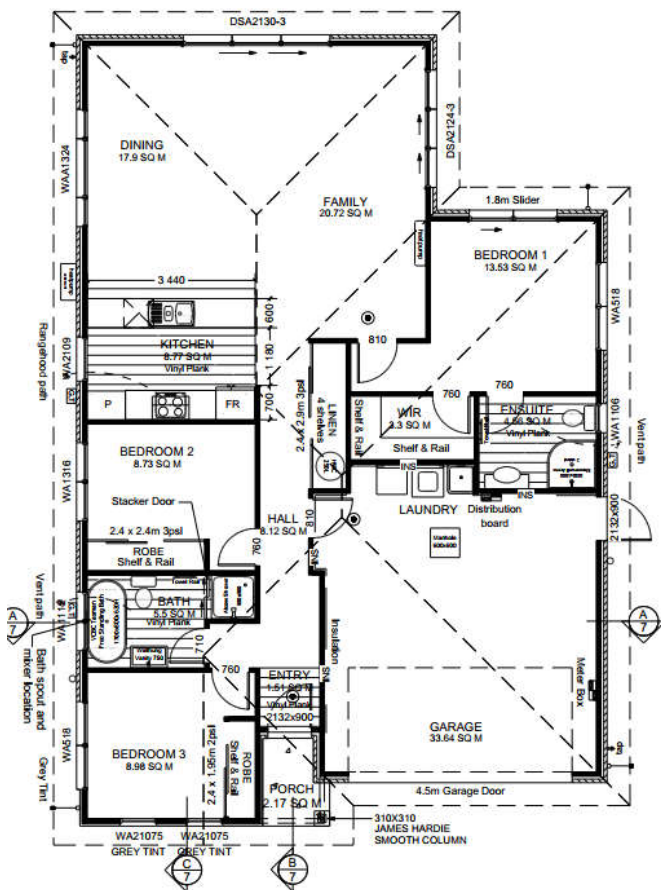
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Inclusions:

Quality cladding selections	Metal pressed tile roof	2.42m ceiling height
1.98m internal door height	Windsor door hardware	Designer kitchen
Bosch appliances	Italian tapware	Window coverings
Fully landscaped	5.8kw heatpump	10 year Master Build guarantee

Floor Plan:



Location:



Disclaimer: This material is for the use of illustrative and guidance purposes. All efforts have been made by Stonewood Homes Christchurch to ensure the information correctly illustrates the dwelling however Stonewood Homes accept no responsibility for any variances which may become apparent once the build commences.

GENERAL

Guarantee:	10 year Master Build guarantee
Warranty:	365 day warranty period
Insurance:	Builders risk insurance

STRUCTURE

Foundation/floor slab:	TC1 RibRaft
Framing:	2.42m NZS 3602:2003 with building wrap – 90mm kiln dried pine
Trusses:	Kiln dried pine
Cladding (main):	Brick – Canterbury Clay 70 series – Designer range
Cladding (feature):	James Hardie smoothboard

ROOFING

Roof:	25° Gerard metal pressed tile
Downpipes:	Colorsteel rectangular 75x55mm
Fascia and gutter:	Dimond metal fascia and quad gutter

WINDOWS AND DOORS

Entry door:	APL 860mm Latitude with urbo lever
Windows:	Vantage aluminium joinery with urbo hardware
Garage door:	Coloursteel flat panel woodgrain 4.5m
Internal doors:	1980mm Everest (vertical V groove polycore)
Wardrobe doors:	MDF flush panel sliders
Window coverings:	Roller blinds to all units excluding bathrooms and garage

INTERIOR LINING

Insulation:	R2.4 wall batts, R4.0 ceiling batts excluding garage
Plasterboard:	GIB board - 10mm to walls, aqualine to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009
Gib external corners:	Gib square stop
Painting:	Resene Zylone
Soffit linings:	Hardiflex 4.5mm

INTERIOR JOINERY

Internal door hardware:	Windsor Futura – Apex brushed nickel
Skirting:	60mm bevel
Wardrobe shelving:	MDF shelf and rail
Cupboard shelving:	MDF shelves x4

KITCHEN AND LAUNDRY

Kitchen and bench surface:	Kitchen cabinetry and sink with TriStone 12mm on negative detail
Tapware:	Paffoni Blu BLU180 high spout
Oven:	Bosch HBF133BSOA – stainless steel oven
Hob:	Bosch PKE611CA1A – stainless steel cooktop
Dishwasher:	Bosch SMU50E75AU – stainless steel dishwasher
Rangehood:	Bosch DWP96BC50A 600m3 – stainless steel canopy
Laundry tub:	Aquatica Estasi 560x560 LE6200

FLOORING

Carpet:	Norman Ellison
Vinyl planking:	Karndean Knightplank

ELECTRICAL

Plugs / Light Fittings:	As per plan
Heatpump:	Toshiba 5.8kw

BATHROOMS AND PLUMBING

Vanities:	Clearlite Cashmere 600mm/750mm
Mirrors:	1000 x 750 x 4mm polished edge
Toilets:	Adesso Mila classic suite
Ensuite shower:	1000x1000mm Arena curved with moulded wall
Main bathroom shower:	900x900 Soul alcove with moulded wall and stacker door
Bath:	Newtech Indus back-to-wall freestanding bath
Tapware:	Paffoni Blu BLU071
Shower slides:	Paffoni Brio ZSAL194CR
Towel rails:	Newtech 5 ladder square heated towel rail
Heaters:	Weiss 2.4kw FH24WH
Extractors:	Weiss Clearflow FV160
Hot water cylinder:	Rheem 250L
Exterior taps:	2

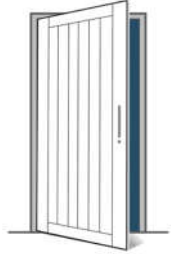
LANDSCAPING

Driveway and patio:	Exposed aggregate
Vehicle crossing:	Included
Landscaping:	Hydroseed, basic planting to street front, letterbox and clothesline
Fencing:	1.8m timber paling to all boundaries as per subdivision covenants

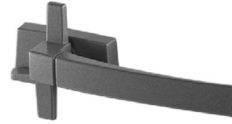
Roof profile



Front door



Window hardware



Garage door profile



Internal doors



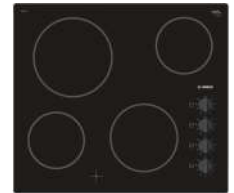
Internal door hardware



Oven



Ceramic cooktop



Rangehood



Dishwasher



Laundry tub



Kitchen tapware



Vanity



Ensuite shower



Main bathroom shower



Bath



Shower slides / mixers



Basin mixers



Toilet



Towel rail



Colour Scheme

Lot 44 Faringdon Green, Rolleston

STONEWOOD
H O M E S

EXTERIOR

Roof:	Obsidian
Fascia / Gutter / Downpipes:	Ebony
Window joinery:	Ebony
Front door:	Ebony
Front door frame:	Ebony
Garage door:	Ebony
Garage door frame:	Ebony
Soffits:	Resene half black white
Exterior cladding (main):	Canterbury Clay—Kaweka with charcoal mortar
Exterior cladding (feature):	James Hardie smoothboard - Resene All Black

INTERIOR

Ceilings:	Resene half black white
Walls:	Resene black white
Interior doors:	Resene black white
Skirting:	Resene black white
Carpet:	Dalton - Woodland
Vinyl plank:	Pale limed oak
Kitchen cabinetry:	Melteca - Snow drift
Kitchen benchtop:	TriStone 12mm – Pure white on black pearl negative detail
Tiles (kitchen splashback):	White tile (100x300mm) with mid-night grout
Aluminium wardrobe surrounds:	White

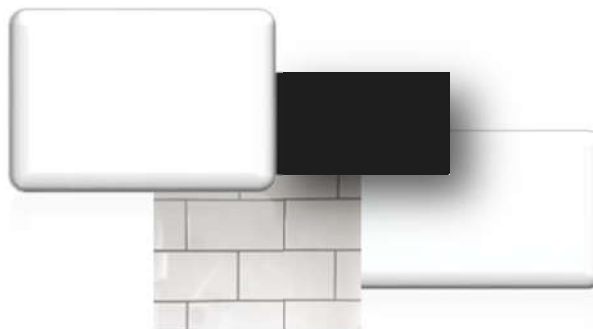
Exterior:



Interior:



Kitchen:



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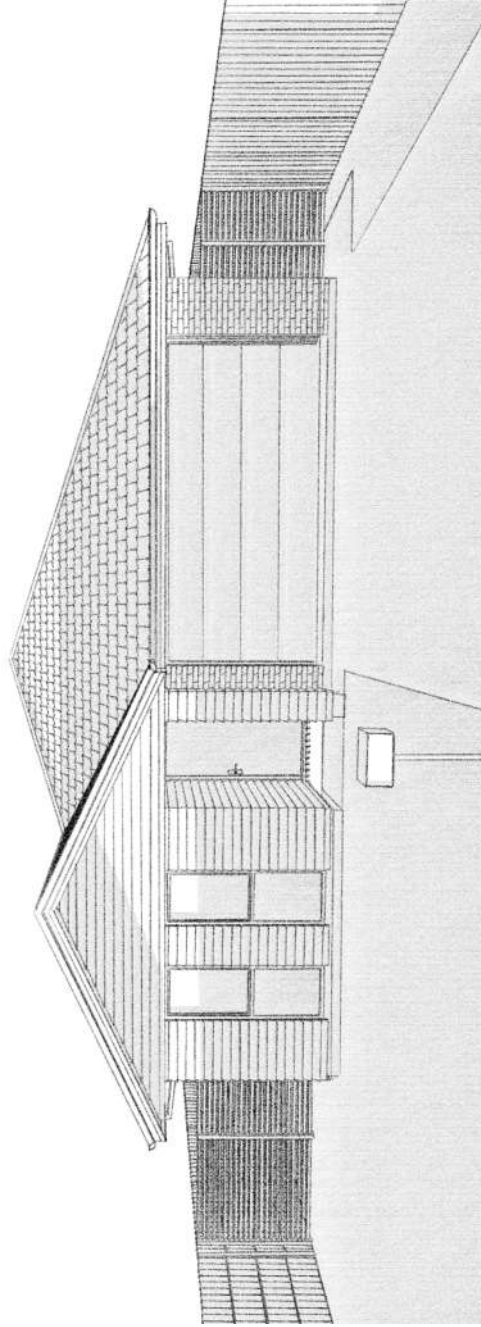
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PROPOSED NEW RESIDENCE

FOR

Summerbees Limited



ARTIST IMPRESSION ONLY

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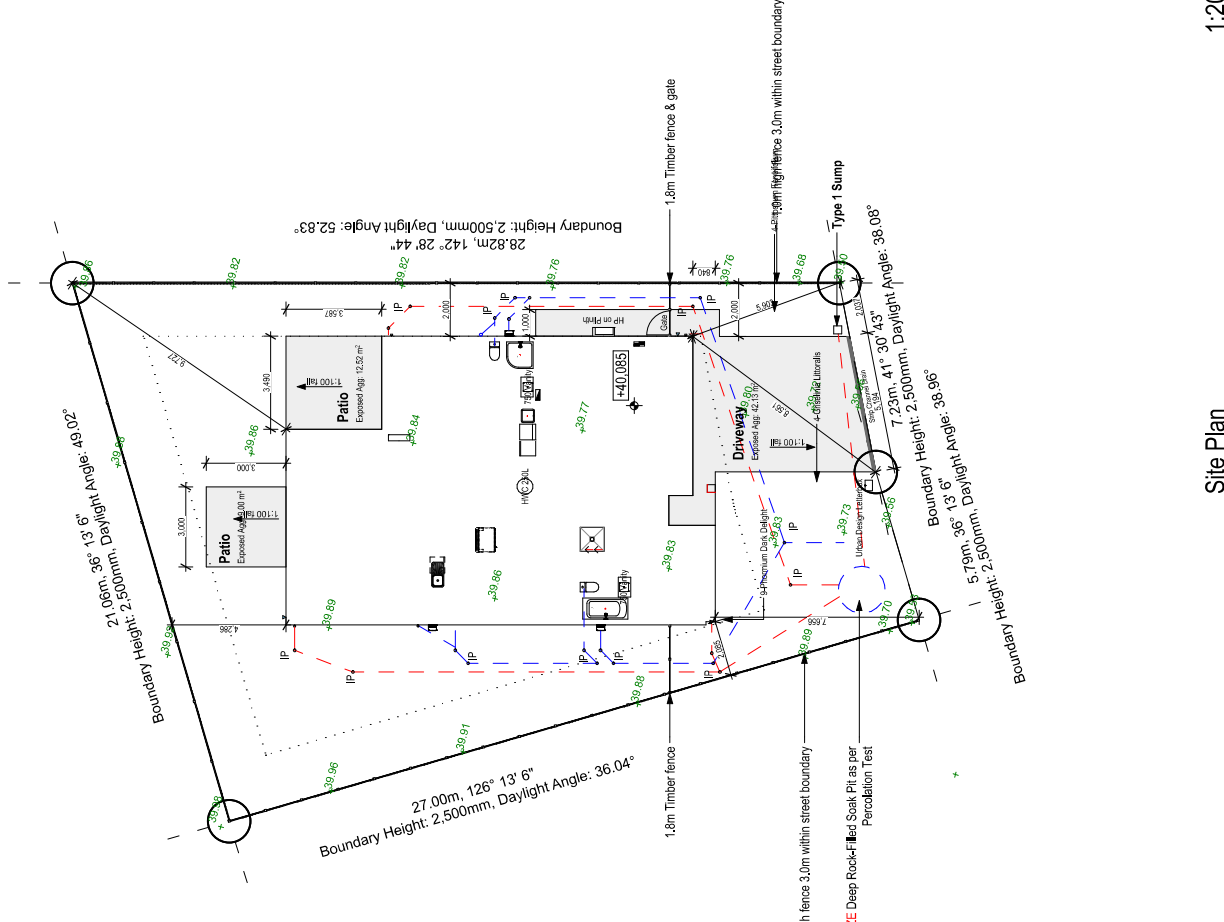
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	<p>NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</p>					

Planning Approved
29/01/2020 brownn

GENERAL NOTES

- Site Area: 466m²
- Door Area over Framing: 149.36 m²
- Door Area over Foundation: 155.31 m²
- Door Area over Foundation (incl. Covered Areas): 155.31 m²
- Perimeter over Foundation: 55.0718
- Site Coverage: 33.32% (40% Allowable)
- Impervious Surface Area: 62.98m² (13.51% Excluding Dwelling & Garage)
- Exposure Zone: C
- Wind Zone: 2
- Seismic Zone: N4 1,0kPa
- Environmental Authority: Selwyn District Council
- Planning Zone: Living Z
- General: Concept subject to TA rules and regulations. All dimensions to be confirmed on site. Concept may be subject to subdivision developer's approval.
- Foundation Type: TC1 NZS 3604
- Site Information: Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc. is unknown - to be confirmed when information becomes available.
- Landscaping: This plan is indicative only. Landscaping to be confirmed by the client. All fencing to comply with the relevant Covenants. C.O.T to be Confirmed
- Boundary Information: Levels obtained No
- Historical Interest: N/A
- Existing Use Rights: N/A
- Food Management Area: N/A
- Compliances Requiring RC: N/A
- Covenant Non-Compliance: N/A

Steps & Paths:
 A Steps or appropriate landscaping is to be provided if drop from external doors is greater than 150mm from F.F. to F.F. C.O.T. For access routes must provide a non-slip surface in accordance to NZSBC D 1/AS 1 table 2. Convey surface water from sealed drive to an appropriate approved outlet.



Site Plan

LEGEND

Ref	Fixture	Waste Size	Gradient
WC	Water Closet	100mm	1:60
B	Bath	40mm	1:20
SH	Shower	40mm	1:20
S	Kitchen Sink + DW	50mm	1:40
VanU	Vanity Unit	40mm	1:20
WHB	Wash Hand Basin	40mm	1:20
TUB	Laundry Tub + WM	50mm	1:40
HWC	Hot Water Cylinder	20mm	1:40
WM	Washing Machine	Discharge to TUB	
GT	Gully Trap		
RGT	Roller Gully Trap		
RP	Rooding Point	80mm	
TV	Terminal Vent	40mm	
BV	Branch Vent	75 x 50mm	
DP	Downpipe		
IP	Inspection Point		
AAV	Air Admittance Valve		
HT	Hose Tap		
HP	Heat Pump		
SS	Soil Stack	100mm	

- 100mm uPVC surface water drain at 1:100 gradient to existing lateral at boundary, (S/W)
- 100mm uPVC foul water drain at 1:60 gradient to existing laterals at boundary, (P/W)

General Note:

All plumbing and drainage to comply with Acceptable Solutions G13/AS/AS2 by qualified tradesman. Allow to check all dimensions and falls of drains onsite prior to installation. Use 75x50mm downpipes. Contractor to locate all service connections on site prior to earthworks, confirm all boundary setbacks & restrictions comply with current regulations prior to commencement of foundations. All waste pipes PVC. Sizes, fall, venting & discharge to be confirmed by NZ qualified plumber. Confirm positions of available services calling etc. on site prior to any excavation. Internal water pipes to be PEX/butylene. All pipework & pipes exposed to freezing to be lagged with closed cell foam.

Note:

- Refer Gully Trap is to be positioned so that the top of the gully dish is no less than 150mm below the existing level of the lowest sanitary fixture served by the drainage system.
- Position of drain connections at street laterals to be confirmed on site.
- Allow to thermally insulate all exterior pipework & valves exposed to external weather conditions.

Drain pipes discharging to GT:
 -25mm min air gap between all pipes & GT.

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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	TECHNICIAN:	JOB #	A1.01
	AMENDMENT DATE:	VERSION/ CODE:	190035
	2/10/2020	3	

LEGAL DESCRIPTION:

LOT: 44	DP:
Fairfington Green	Rollleston

DRAWING TITLE:

Site Plan

JOB TITLE:

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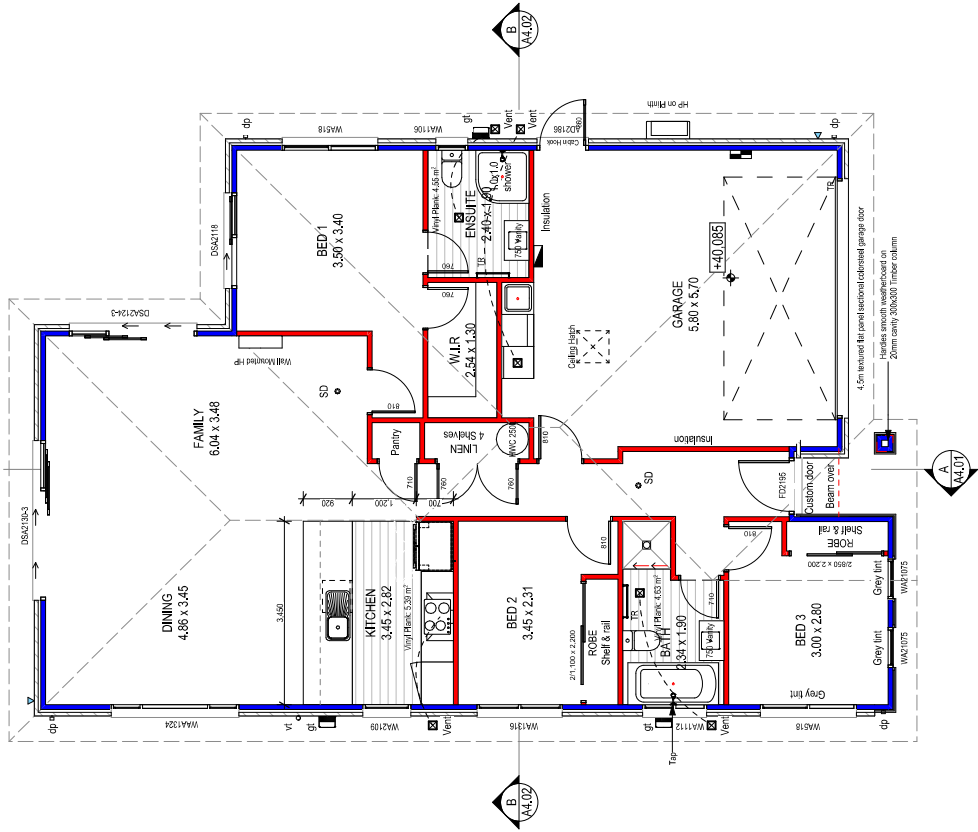


GENERAL NOTES

Area Over Roof (on Rib) to face of fascia:	184.12 m ²
Roof Pitch	25°
Eaves Width	600mm
Gable Width	450mm
Height To Underside Of Truss	2455mm
Sub-End	N/A
Lintel Height	2125mm
Soffit Height	2110mm
Soffit Type	Flat
Raked ceiling	N/A
Internal Door Leaf Height	N/A
Standard	Standard

KEY

	Meter Board
	Distribution Board
	Comms Panel
	Gully Trap
	Hose Tap
	Downpipe
	Internal Heat Pump
	External Heat Pump



FLOOR PLAN NOTES:

- All glazing to comply with NZS4223
- All hard floor finishes to comply with NZBC D/IAS Table 2. Floor tiles to be non-slip & have a slip coefficient value of 0.35 - 0.65 for grit finished ceramic tiles.
- Hot water pipes to be sized according to NZBC G12 & NZS4305:1996. Mains pressure: 15mm dia. allows 12mm max. pipe length. Pipe length beyond this must be lagged.
- Satin enamel wall finish to bathroom, ensuite & those walls adjacent to sinks etc. in kitchen & laundry. One row of tiles to be used above basins, vanities & benches. Bottom edge to be filled with fungus/mold resistant sealant.

WATER PROOFING MEMBRANE NOTE:
 Wetset waterproofing membrane required to tiled bathrooms with tiled related level access showers.

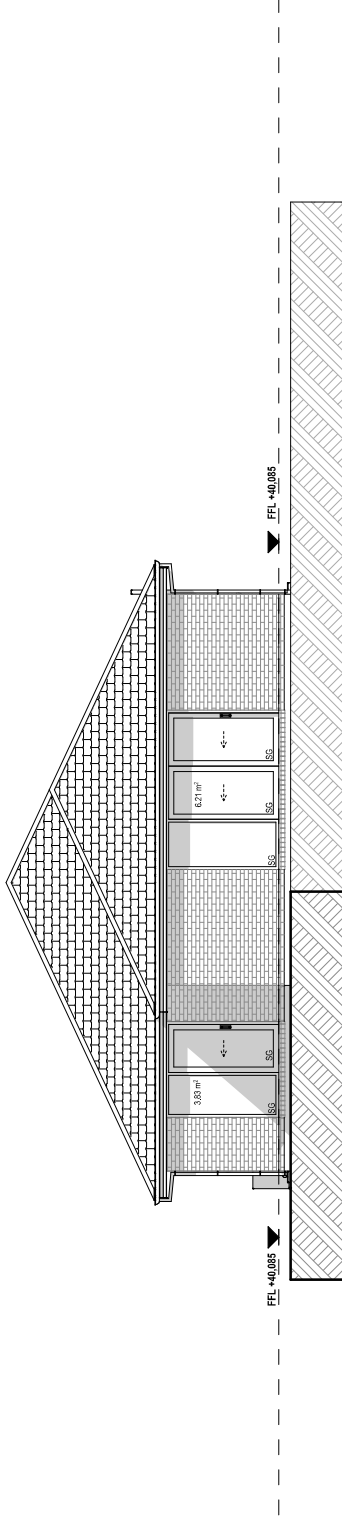
Ground Floor Plan 1:100

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GENERAL NOTES

- Foundation Type NZS 3604 TC1
- Wall Cladding Materials Brick veneer & Hardies weatherboard (Smooth)
- Roofing Materials Metal tile
- Roof Pitch 25deg
- Eaves Width 600 & 450 Gable
- General: All exterior window & door lintels by truss manufacturer. Concept subject to TA rules & regulations. Concept subject to subdivision developer's approval. All dimensions to be confirmed on site.

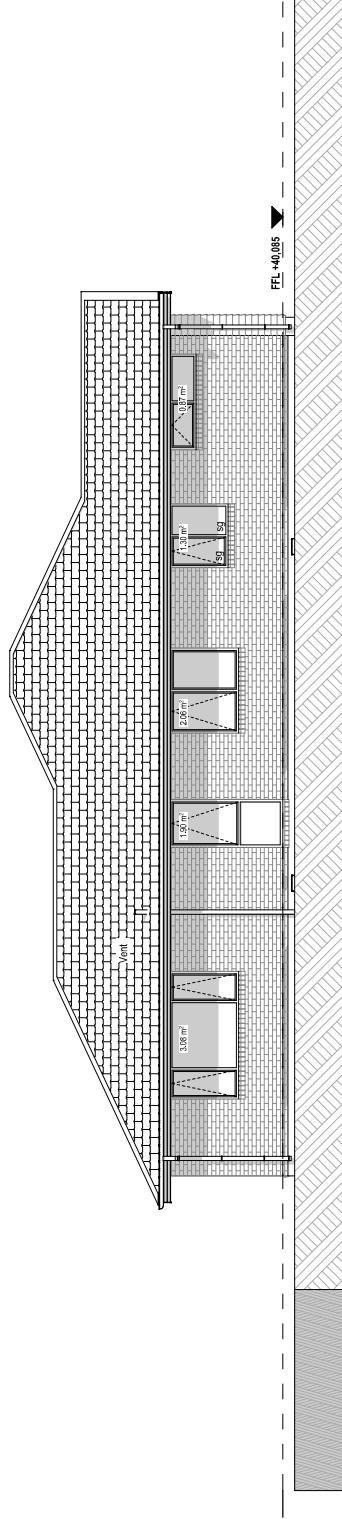
NOTE: Glazing & glazed openings to comply with NZS4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS4211:2008: Specification for performance of windows & New Zealand building Code Clauses: F2 Hazardous materials.



North Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		1



West Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		1



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JOB TITLE:
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DRAWING TITLE:
 Elevations

LEGAL DESCRIPTION:
 LOT: 44
 Forfiton Green
 Reflection

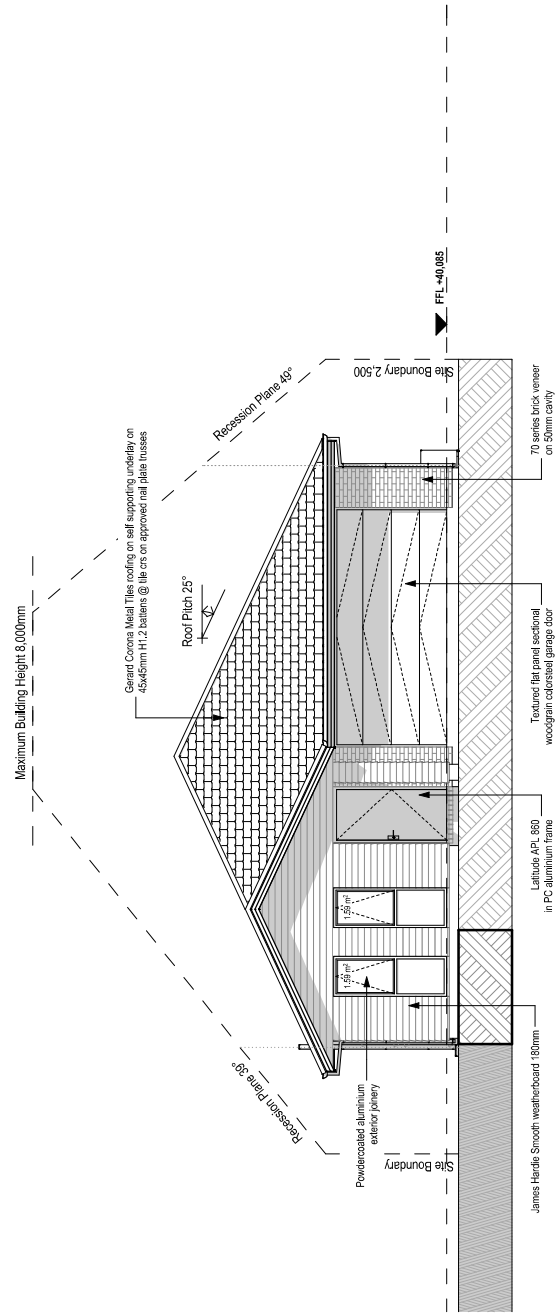
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02/12/2019	Michael	1:100	
AMENDMENT DATE:	TECHNICIAN:	JOB #	
21/01/2020	Michael	A3.01	
	VERSION:	CODE:	
	3	190035	

GENERAL NOTES

- Foundation Type**
NZS 3604 TC1
- Wall Cladding Materials**
Brick veneer & Hardies weatherboard (Smooth)
- Roofing Materials**
Metal tile
- Roof Pitch**
25deg
- Eaves Width**
600 & 450 Gable
- General:**
All exterior window & door linels by truss manufacturer.
Concept subject to TA rules & regulations.
Concept subject to subdivision developer's approval.
All dimensions to be confirmed on site.

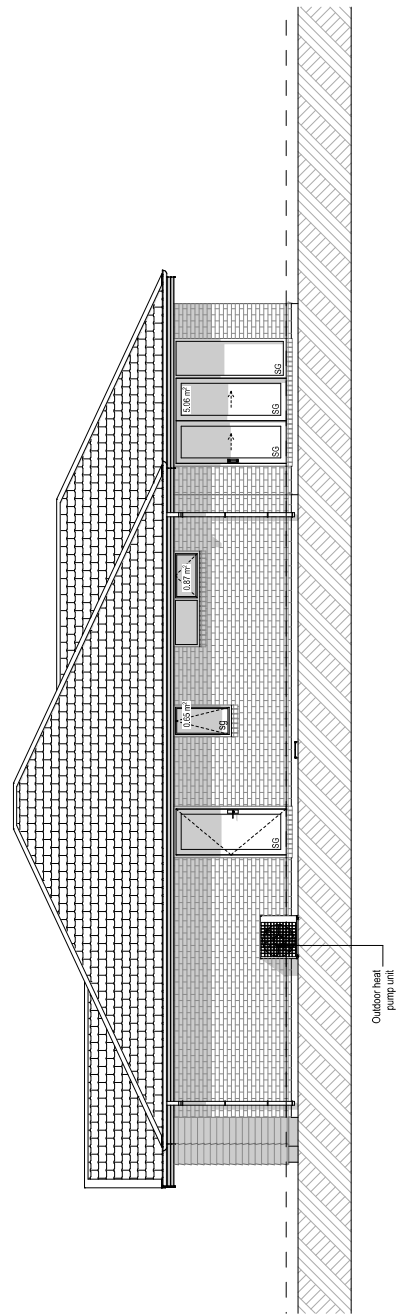
NOTE: Glazing & glazed openings to comply with NZS4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements. NZS4211:2008: Specification for performance of windows & New Zealand building Code Clauses: F2 Hazardous materials.



South Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		2



East Elevation

1:100

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Low	0
Deck design	Low	0
Total Risk Score:		3

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Exterior Walls:

Generally construct exterior walls with 80mm x 45mm H1.2 framing with studs @ 600mm c/s and dwangs at 800mm c/s to NZS3604:2011. Dwang for all fittings, fixtures, linings, bracing panels & trims. DPC (malthoid) between bottom plate & conc. slab and fixed with Pryda Bottom Plate Anchors with 75 x 4mm dia. concrete nails adjacent to anchor 70mm min from edge of slab, as per manufacturers specifications @ 900mm c/s. max as per NZS3604:2011.

Refer to bracing plan for additional hold down fixings.

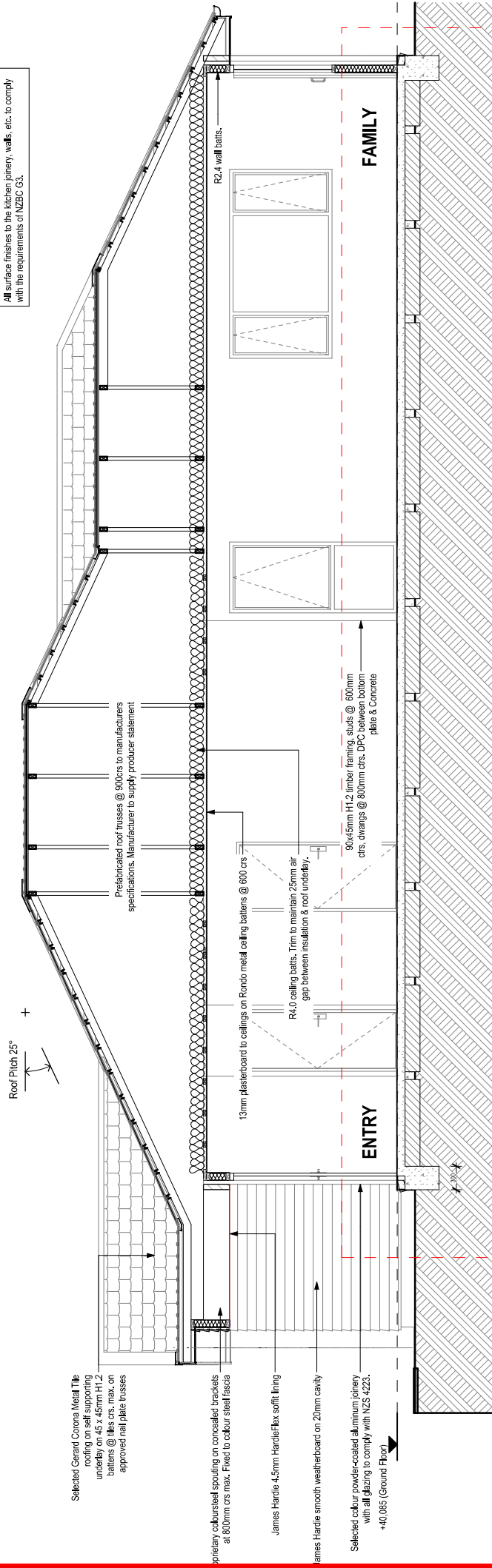
Interior Walls:

Generally construct interior walls with 50mm x 45mm Pine H1.2 timber framing with studs @ 600mm c/s to NZS3604:2011. Dwang for all fittings, fixtures, linings, bracing panels & trims. DPC (malthoid) between bottom plate and conc. slab and fixed with Ramset or other appropriate fixing

Refer to bracing details for additional plate fixing. Generally line with 70mm standard plasterboard (Wet area system to wet areas) stopped for selected paint finish (unless otherwise indicated). Refer also specific float dngs & bracing schedule for specialist wall fixings & requirements.

Achieved R-values are as follows:
 R2.4 wall insulation gives a combined wall R-value of R2.2
 R4.0 ceiling insulation gives a combined ceiling R-value of R3.6
 Double glazing achieves R0.26

All surface finishes to the kitchen joinery, walls, etc. to comply with the requirements of NZBC G3.



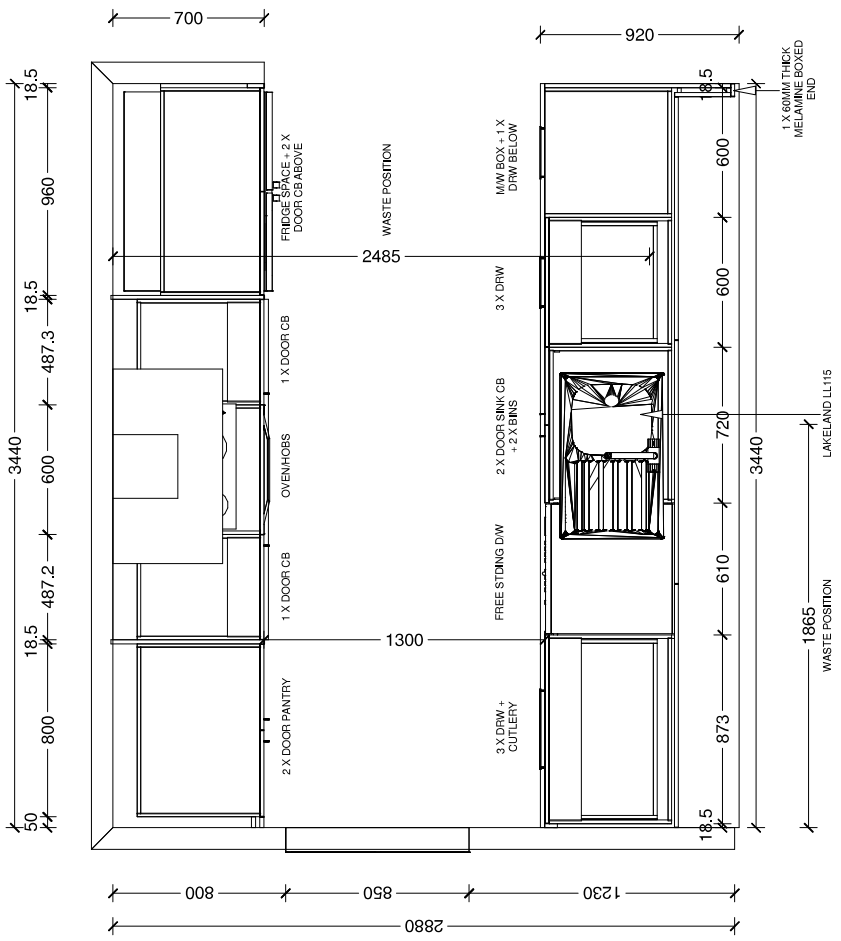
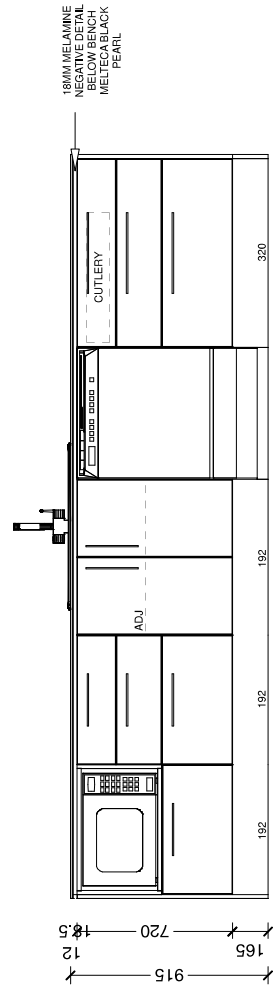
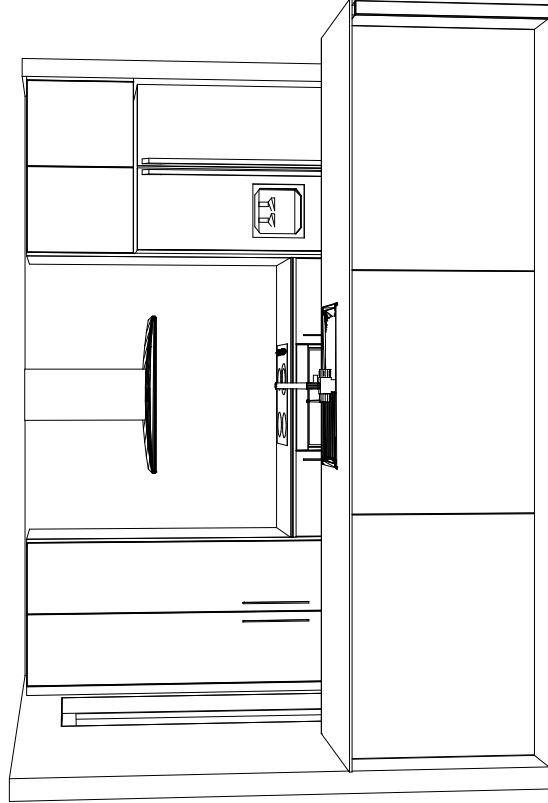
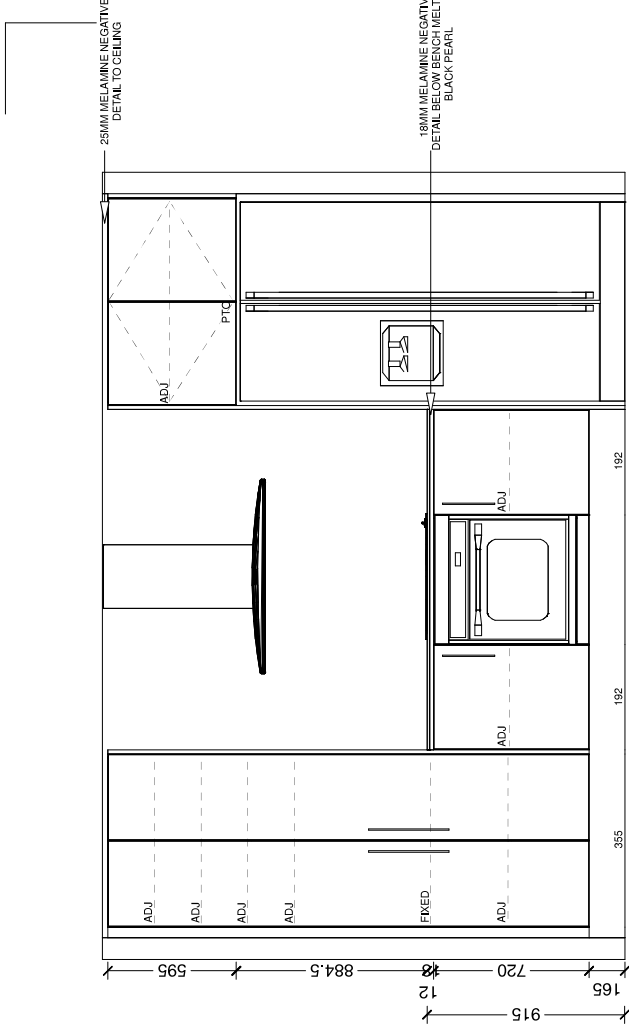
FIRTH RIBRAFT FOUNDATION DESIGN

Section A

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	<p>AMENDMENT DATE: 21/01/2020</p>	<p>TECHNICIAN: Michael</p>	<p>VERSION: 3</p>	<p>JOB # A4.01</p>	<p>VERSION CODE: 190035</p>
<p>JOB TITLE: Summerbees Limited</p>	<p>DRAWING TITLE: Cross Section</p>	<p>LEGAL DESCRIPTION: LOT: 44 DP: Farrington Green Rolliston</p>	<p>NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS:</p>		



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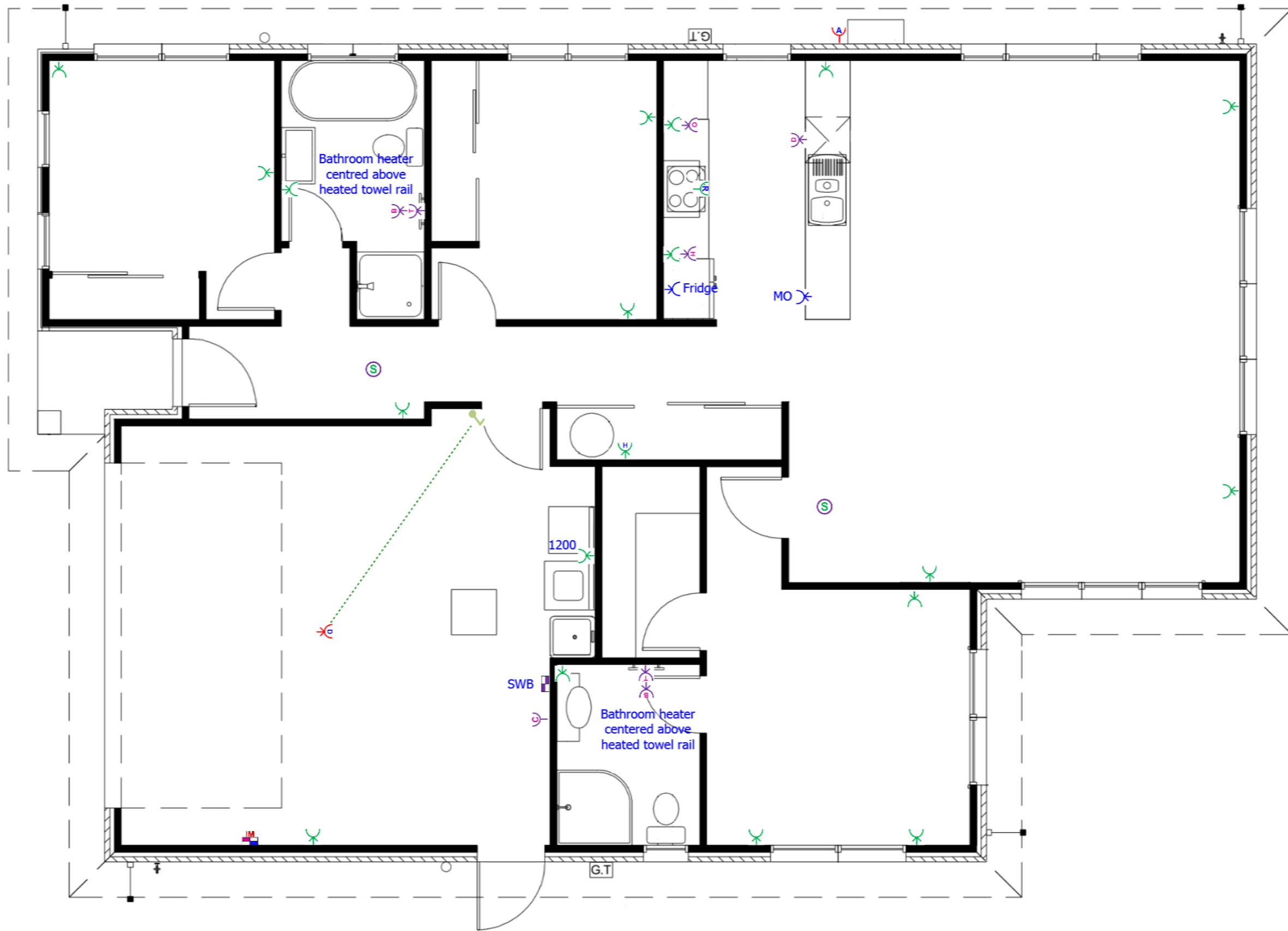


Designer: **Teresa** Date: **22 Aug 19** Client: **Stonewood Homes** BC Ref: **Job** Site Address:

Dwg: **XXXXXXXXXX** Rev: **XX** Scale: **XX** Customer: **The Windermere Kitchen** Job: **Default**

TRENDS
KITCHENS

is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Signature: _____ Date: _____



Electrical Power

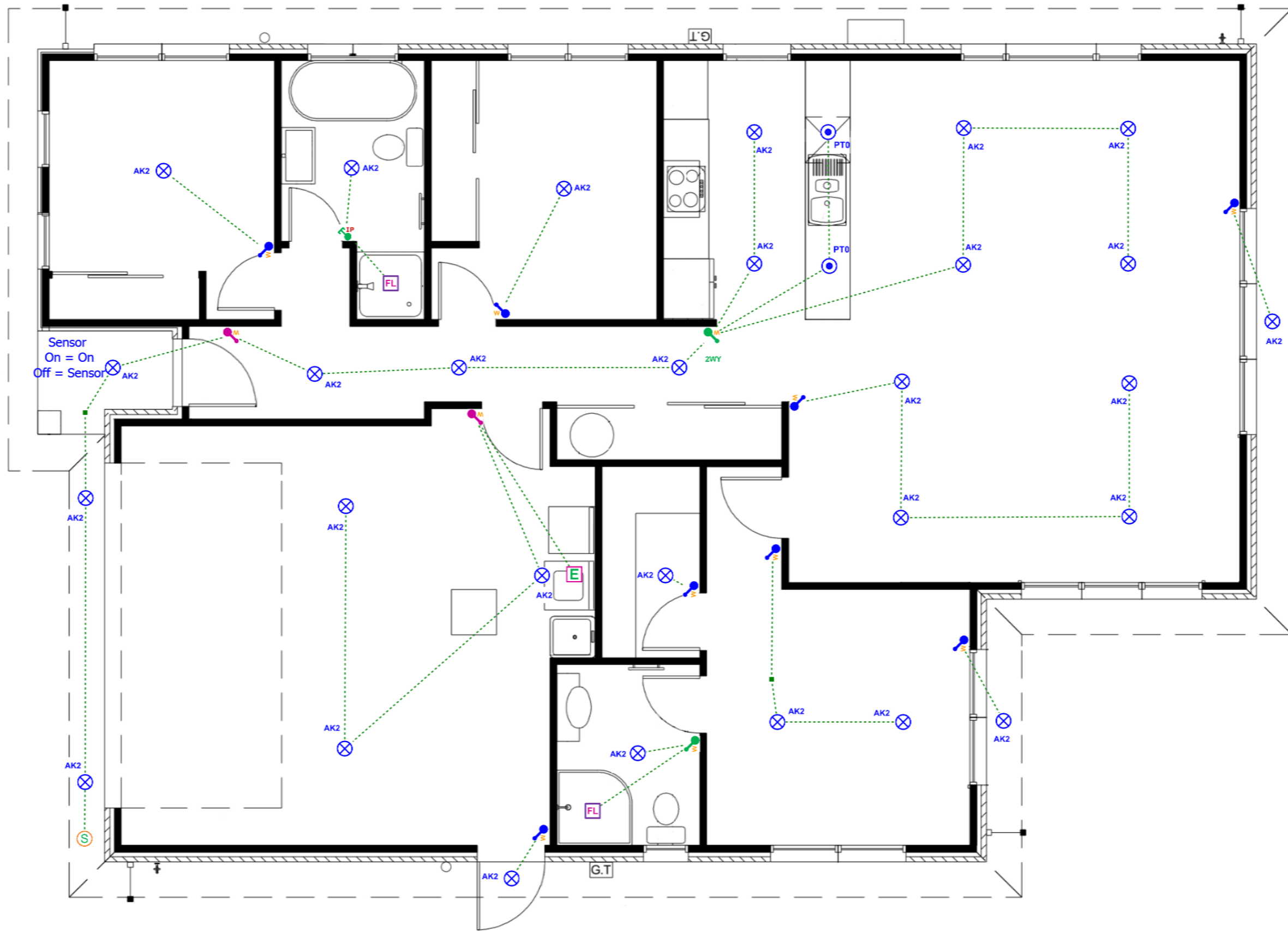
Summerbees Limited - Stonewood
 Christchurch
 Lot 44 Faringdon Green
 Rolleston, Christchurch

Christchurch
 PO Box 9302
 Tower Junction
 Christchurch

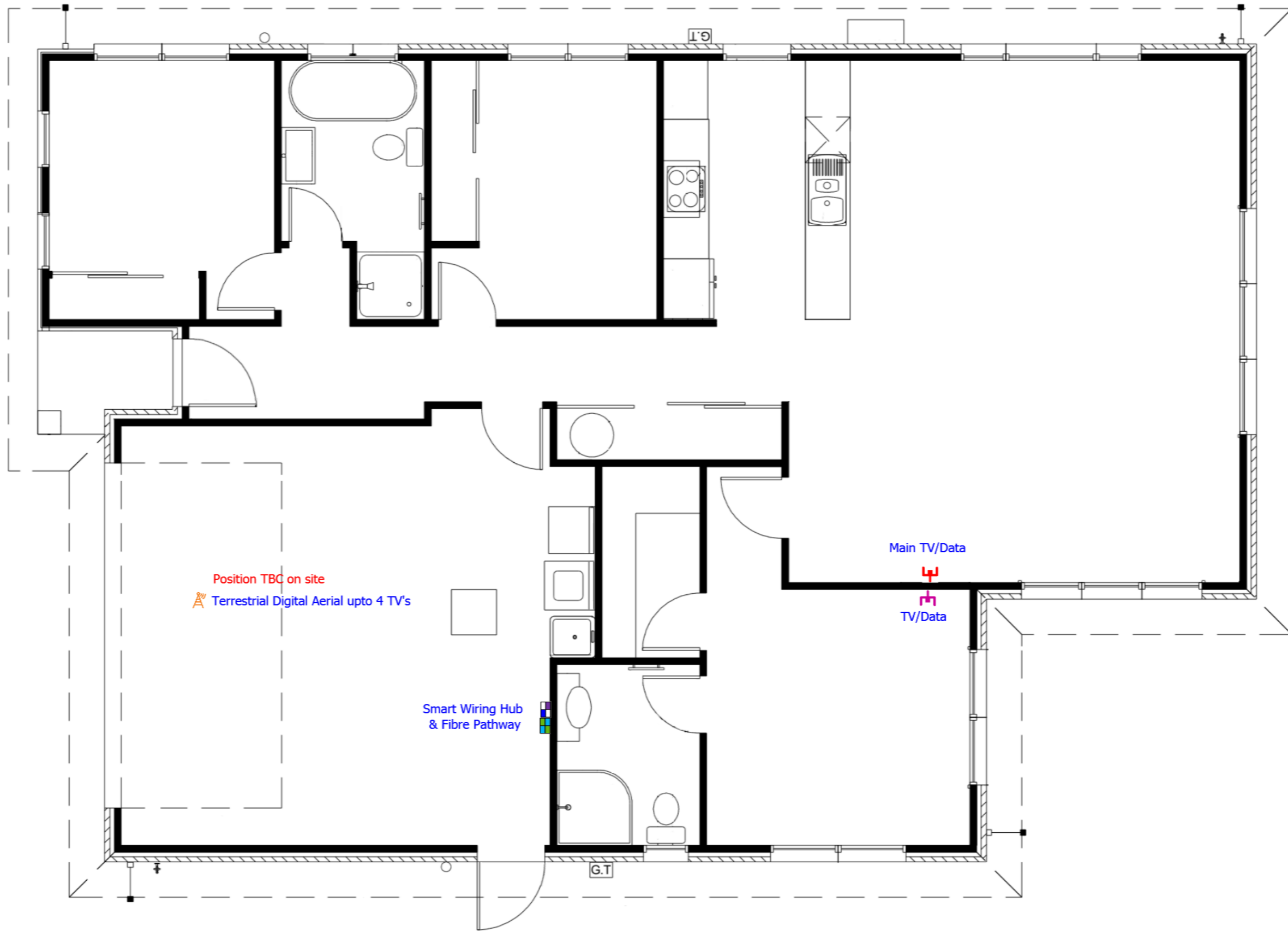
Phone: 03 338 4238
 Fax: 03 338 4239
 Web: smartsystems.net.nz
 Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale



Signature: _____ Date: _____



Signature: _____ Date: _____



Structured Cabling

Summerbees Limited - Stonewood
 Christchurch
 Lot 44 Faringdon Green
 Rolleston, Christchurch

Christchurch
 PO Box 9302
 Tower Junction
 Christchurch

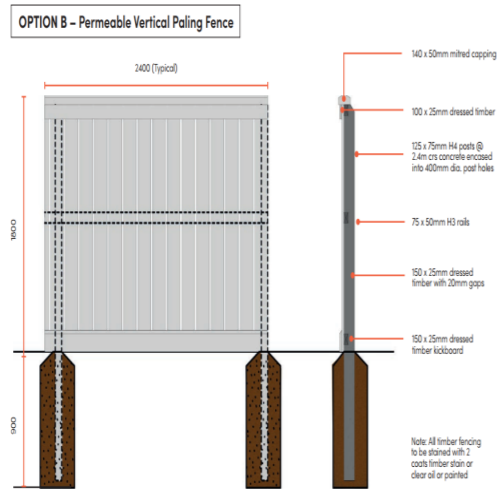
Phone: 03 338 4238
 Fax: 03 338 4239
 Web: smartsystems.net.nz
 Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale



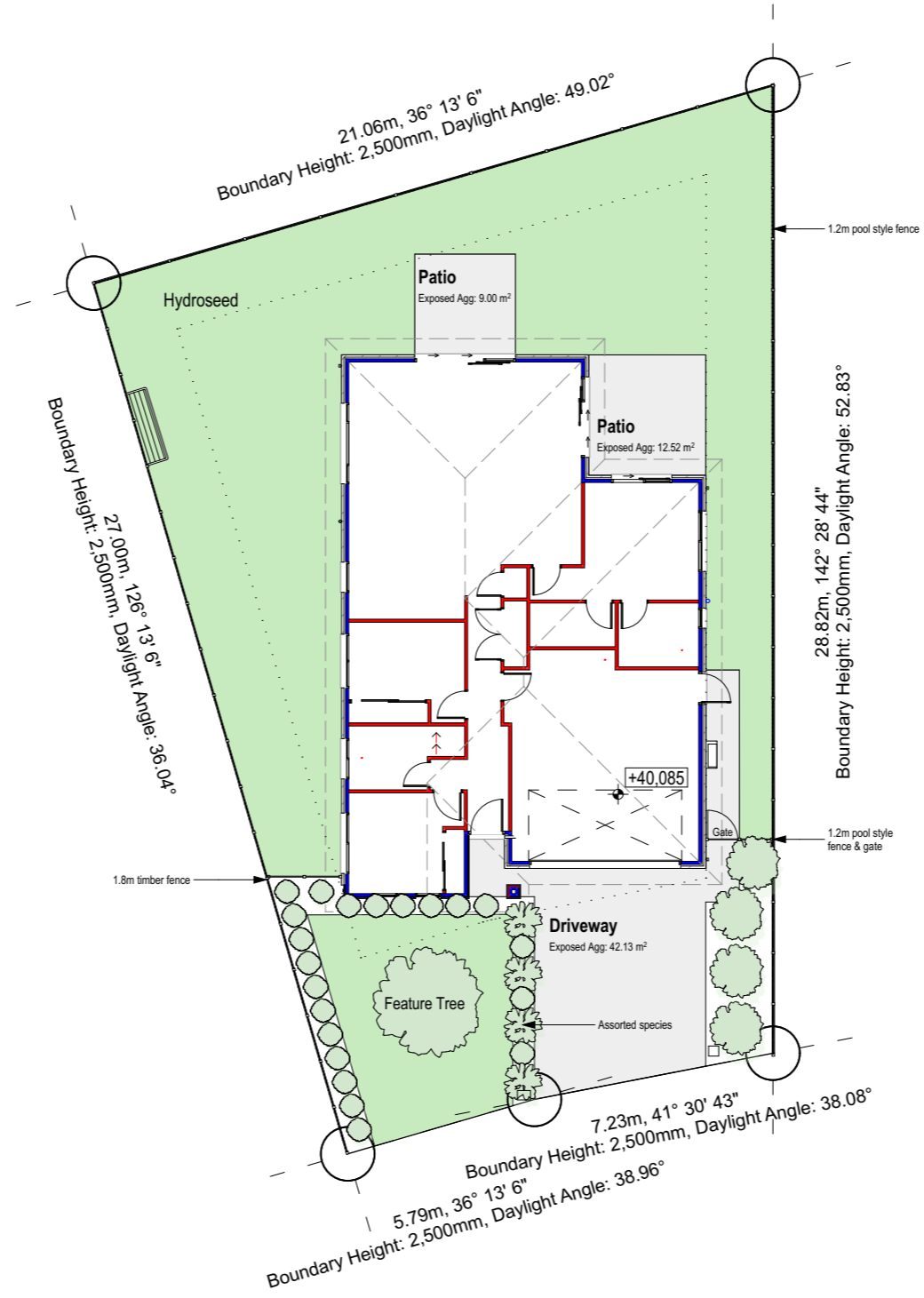
Example Landscaping



Internal Fencing



Letterbox



Griselinia littoralis



Phormium Dark Delight



Pittosporum tenuifolium

All planting in mulch bark

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

S:\Investment Portfolio\Faringdon Green\Lot 44 Faringdon Green Summerbees 190035\Archicad\Lot 44 Faringdon Green.pln 4/02/2020 Michael.McFie

<p>© Stonewood Homes PHONE: (03) 354 2344 FAX: (03) 354 2322 ADDRESS: 11 Jipcho Road, Wigram WEB: www.stonewood.co.nz</p>	<p>JOB TITLE: Summerbees Limited</p>	<p>DRAWING TITLE: Landscaping Plan</p>	<p>LEGAL DESCRIPTION: LOT: 44 DP: Faringdon Green Rolleston</p>	<p>NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work</p>	<p>DATE OF ISSUE: 02/12/2019</p>	<p>DESIGNER: Michael</p>	<p>SCALE: 1:200</p>	<p>SHEET: A1.02</p>
	<p>AMENDMENT DATE: 21/01/2020</p>	<p>TECHNICIAN: Michael</p>	<p>VERSION: 3</p>	<p>CODE:</p>	<p>JOB # 190035</p>			