

# \$535,000

Lot 67 Faringdon Green, Rolleston

**STONEWOOD**  
HOMES

Green space outlook!

**STONEWOOD**  
HOMES



## For Sale

### House and Land Package

Dwelling  
Size

157m<sup>2</sup>

Section  
Size

493m<sup>2</sup>



4



1



2



2

Surrounded by green spaces this home features four bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining, family bathroom and internal access double garaging. Well appointed for the sun on an easy care landscaped section, offering quality fixtures and fittings throughout and finished to a high standard this design is sure to impress.

Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fast growing area. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only for a short drive to central Rolleston with a shopping complex to cater all requirements.

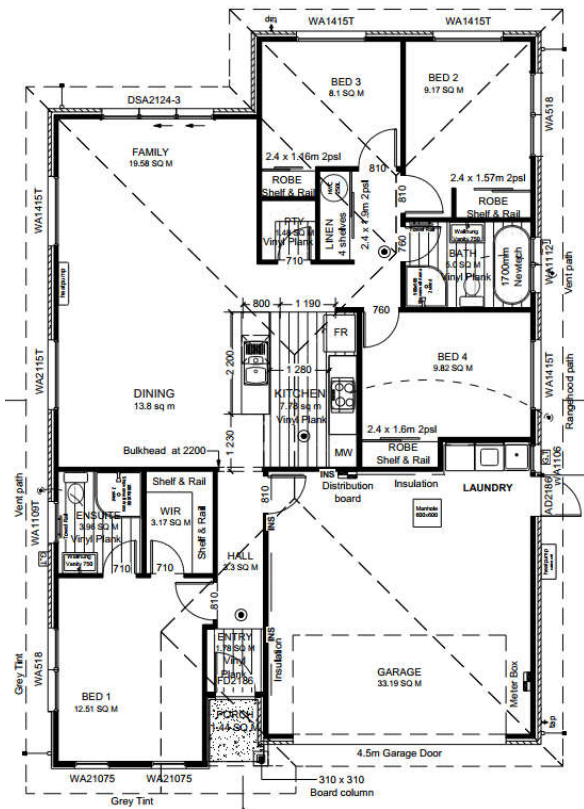
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[www.stonewood.co.nz](http://www.stonewood.co.nz)

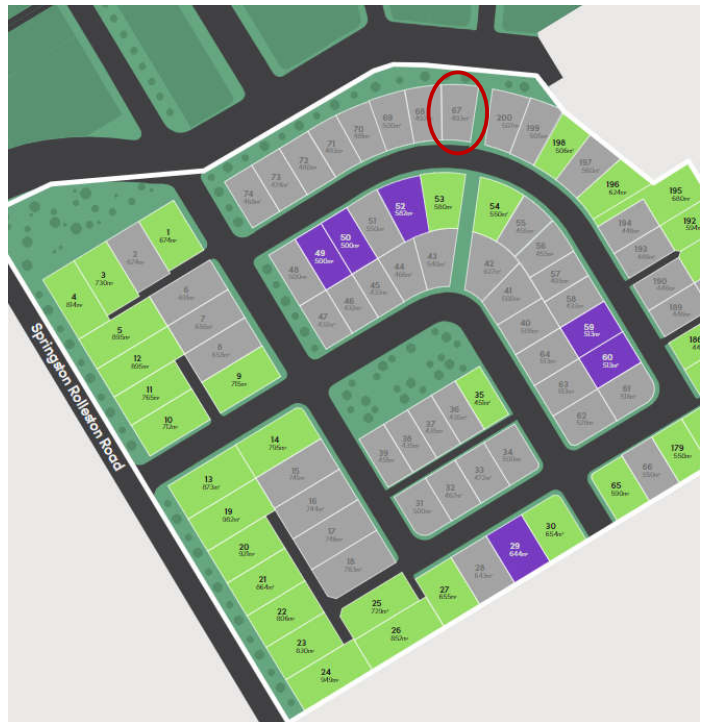
## Inclusions:

Quality cladding selections	Metal pressed tile roof	2.42m ceiling height
1.98m internal door height	Windsor door hardware	Designer kitchen
Bosch appliances	Italian tapware	LED light fittings
Norman Ellison carpets	5.8kw heatpump	Fully landscaped
Window coverings	After care service	10 year Master Build guarantee

## Floor Plan:



## Location:



**Disclaimer:** This material is for the use of illustrative and guidance purposes. All efforts have been made by Stonewood Homes Christchurch to ensure the information correctly illustrates the dwelling however Stonewood Homes accept no responsibility for any variances which may become apparent once the build commences.

### GENERAL

Guarantee:	10 year Master Build guarantee
Warranty:	365 day warranty period
Insurance:	Builders risk insurance

### STRUCTURE

Foundation/floor slab:	TC1 foundation with 300mm excavation depth
Framing:	2.42m NZ5S 3602:2003 with building wrap – 90mm kiln dried pine
Trusses:	Kiln dried pine
Cladding (main):	Brick – Midland 70 series – Modus range
Cladding (feature):	James Hardie smoothboard

### ROOFING

Roof:	25° Gerard metal pressed tile
Downpipes:	Colorsteel rectangular 75x55mm
Fascia and gutter:	Dimond metal fascia and quad gutter

### WINDOWS AND DOORS

Entry door:	APL 860mm Latitude with urbo lever
Windows:	Vantage aluminium joinery with urbo hardware
Garage door:	Coloursteel flat panel woodgrain 4.5m
Internal doors:	1980mm Everest (vertical V groove polycore)
Wardrobe doors:	MDF flush panel sliders
Window coverings:	Roller blinds excluding garage and bathrooms

### INTERIOR LINING

Insulation:	R2.4 wall batts, R4.0 ceiling batts excluding garage
Plasterboard:	GIB board - 10mm to walls, aqualine to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009
Gib external corners:	Gib square stop
Painting:	Resene Zylone
Soffit linings:	Hardiflex 4.5mm

### INTERIOR JOINERY

Internal door hardware:	Windsor Futura – Apex brushed nickel
Skirting:	60mm bevel
Wardrobe shelving:	MDF shelf and rail
Cupboard shelving:	MDF shelves x4

## **KITCHEN AND LAUNDRY**

Kitchen and bench surface:	Kitchen cabinetry and sink with TriStone 12mm on negative detail
Tapware:	Paffoni Blu BLU180 high spout
Oven:	Bosch HBF133BSOA – stainless steel oven
Hob:	Bosch PKE611CA1A – stainless steel cooktop
Dishwasher:	Bosch SMU50E75AU – stainless steel dishwasher
Rangehood:	Bosch DWP96BC50A 600m3 – stainless steel canopy
Laundry tub:	Aquatica Estasi 560x560 LE6200

## **FLOORING**

Carpet:	Norman Ellison
Vinyl planking:	Karndean Knightplank

## **ELECTRICAL**

Plugs / Light Fittings:	As per plan
Heatpump:	Toshiba 5.8kw

## **BATHROOMS AND PLUMBING**

Vanities:	Raymor Brighton 750mm
Mirrors:	1000 x 750 x 4mm polished edge
Toilets:	Adesso Mila classic suite
Showers:	Arena curved with moulded wall
Bath:	Newtech Indus back-to-wall freestanding bath
Tapware:	Paffoni Blu BLU071
Shower slides:	Paffoni Brio ZSAL194CR
Towel rails:	Newtech 5 ladder square heated towel rail
Extractors:	Weiss Clearflow FV160
Hot water cylinder:	Rheem 250L
Exterior taps:	2

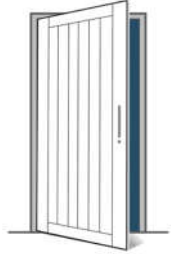
## **LANDSCAPING**

Driveway and patio:	Exposed aggregate
Vehicle crossing:	Included
Fencing:	1.8m timber paling to left boundary, 1.2m pool style fencing rear and right boundaries.

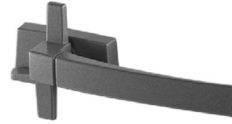
Roof profile



Front door



Window hardware



Garage door profile



Internal doors



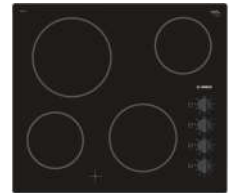
Internal door hardware



Oven



Ceramic cooktop



Rangehood



Dishwasher



Laundry tub



Kitchen tapware



Vanity



Showers



Bath



Basin mixers



Shower slides



Shower / bath mixers



Toilet



Towel rail



# Colour Scheme

Lot 67 Faringdon Green, Rolleston

## EXTERIOR

Roof:	Grey Friars
Fascia / Gutter / Downpipes:	Grey Friars
Window joinery:	Grey Friars
Front door:	Grey Friars
Front door frame:	Grey Friars
Garage door:	Grey Friars
Garage door frame:	Grey Friars
Soffits:	Resene half black white
Exterior cladding (main):	Midland Brick – Ceniza with natural mortar
Exterior cladding (feature):	James Hardie smoothboard - Resene Half Stack

## INTERIOR

Ceilings:	Resene half black white
Walls:	Resene black white
Interior doors:	Resene black white
Skirting:	Resene black white
Carpet:	Dalton - Woodland
Vinyl plank:	Pale limed oak
Kitchen cabinetry:	Melteca - Snow drift
Kitchen benchtop:	TriStone 12mm – Pure white on black pearl negative detail
Tiles (kitchen splashback):	White tile (100x300mm) with mid-night grout
Aluminium wardrobe surrounds:	White

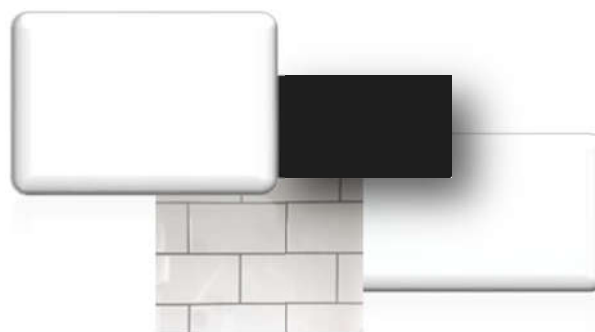
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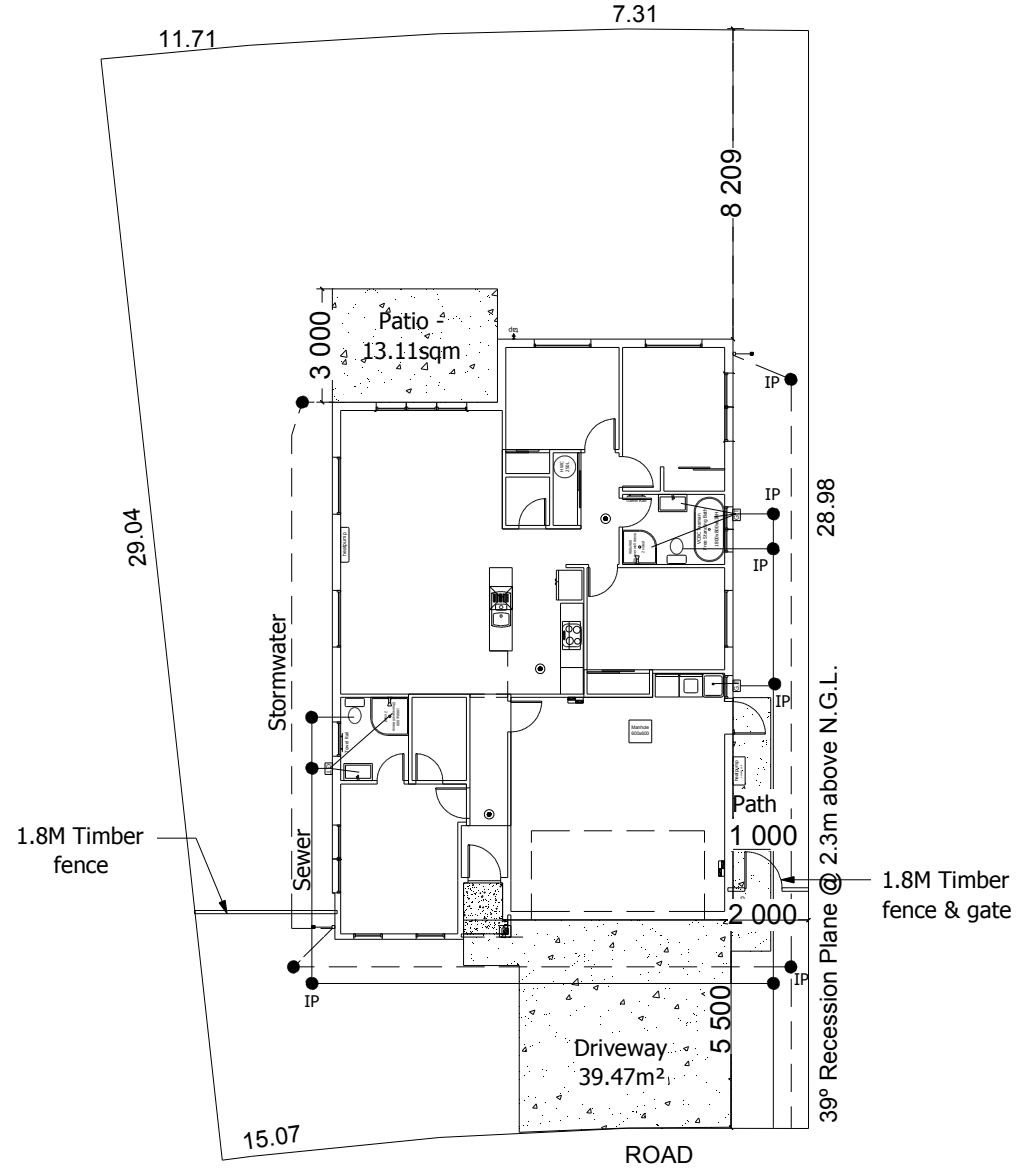
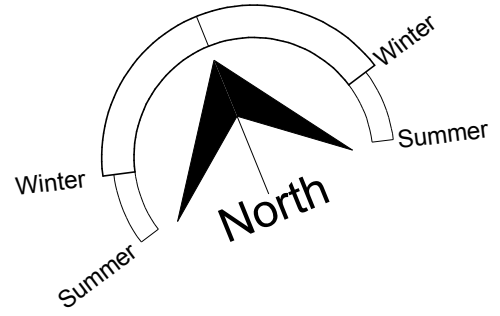


### Interior:



### Kitchen:





LEGEND	
LEGEND.	
Sewer Pipe	— developed length: (approx) xxm
S/W Pipe	- - - - developed length: (approx) xxm
Down Pipe	DP
Gully Trap	GT
Terminal Vent	TV

**SITE PLAN NOTES**

Refer to Drainage Plan for specific drainage information

Refer to sediment control plan in specification and implement where required.

Driveway – By Stonewood Homes as shown OR Driveway and Sump not part of this building consent

Convey surface water from sealed drive areas to an appropriate approved outfall.

Dimensions are shown to cladding face

Resource Consent Issues:  
1/ No RC Issues known

SITE INFORMATION	
Zone	xx
Wind	xx
Earthquake	1/2/3/4
Durability	B/C/D
Snow	N x at xxm (up to x kPa)

BUILDING AREA AND SITE COVERAGE	
Net Site Area	493m <sup>2</sup>
Building Area (O/V)	=157.67m <sup>2</sup> (Includes covered areas)
Max Site Coverage Allowed	:00%
Actual Site Coverage	=31.98%

EARTHWORKS	
Proposed F.G.L =	xxm
Proposed F.F.L =	xxm
FMA level:	xxm

**SITE ASSESSMENT & SOIL REPORT**

Site assessment data supplied from:  
TBC (registered surveyor)

Phone: TBC  
Date completed: xx-xx-xxx  
Levels are relative to: TBC

This dwelling has been designed according to the recommendations from:  
Soil Report by: xxxxxx  
Date: xx-xx-xxxx

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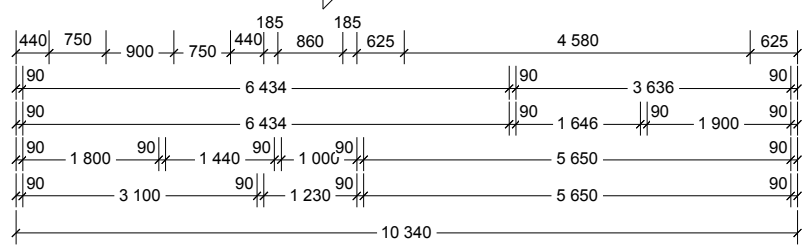
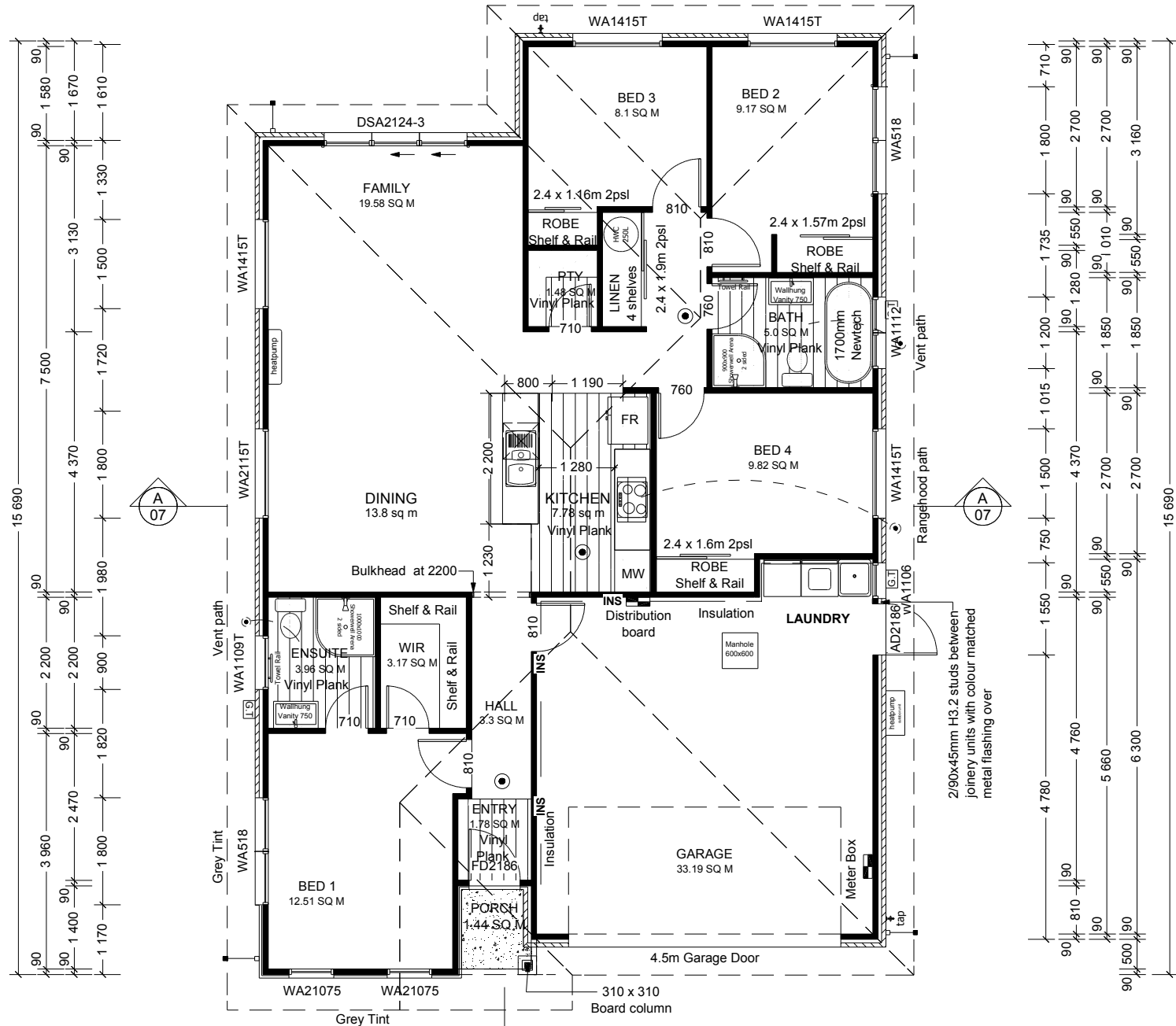
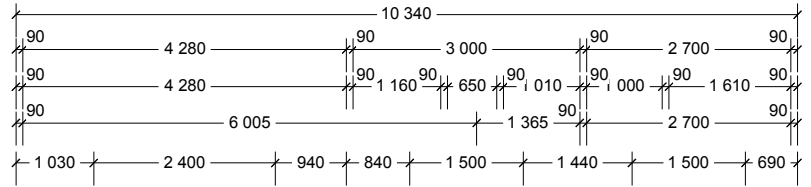
Client :GJEK Limited  
Proposed Dwelling at:  
Lot 67 Faringdon Green, Rolleston

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Signed:	Date:		
SITE PLAN			
Drawn By	Checked By	LBP #	
Isha	XXXX XXXX	XXXXXX	
Standard Plan	Print Date	Sales	Scale at A3
Avon 157 Gable	11/22/2019	SHC	1:200
Job Number	Version	Revision	Sheet
190069	A	1	3
Version:	CONCEPT		OF
			XX



Key To Elevations



WINDOW SCHEDULE	
LABEL	QTY
WA518	2
WA1106	1
WA1112	1
WA1109T	1
WA1415T	4
WA2115T	1
WA21075	2
DSA2124-3	1

DOOR SCHEDULE	
LABEL	QTY
710	3
760	2
810	4
AD2186	1
FD2186	1
2.4 X 1.16M 2PSL	1
2.4 X 1.57M 2PSL	1
2.4 X 1.6M 2PSL	1
2.4 X 1.9M 2PSL	1
4.5M GARAGE DOOR	1

Note:  
Grey Tint to Bed 1 windows

ROOF & WALL CLADDING	
Roof - 25° Pressed Tile	
Walls - 70 Series Brick Veneer	
Feature - Smoothboard	

BUILDING AREA	
AREA: 149.66m <sup>2</sup> O/F	(Perimeter: 53.86m)
AREA: 156.23m <sup>2</sup> O/V	(Perimeter: 54.90m)
AREA: 157.67m <sup>2</sup>	(incl Covered Area 1.44m <sup>2</sup> )
AREA: 184.23 m <sup>2</sup> Roof	(Perimeter: 56.86m)

GENERAL FLOOR PLAN NOTES	
<b>SMOKE ALARMS</b> (hush type) Smoke Alarms to be fitted within 3.0m of sleeping areas and on Escape routes, as indicated on plan. Refer to Construction Schedule (Page 2 & 3) in the Specification for more information.	
<b>MISCELLANEOUS:</b> Dimensions shown are to the frame, GIB thickness not shown. Refer to Construction Schedule (Page 2 & 3 of Specification) for additional construction information. Entry through external doors Mechanical ventilation Air Seals to have PEF rod & low expansion foam All windows and doors centered in room unless shown otherwise	
<b>GAS</b> Gas Bottles to be installed 1500mm away from any ignition source as per the Gas Cylinder diagram in the Gas section of the main specification. (Anything electrical is an ignition source)	
<b>BUILDING WRAP</b> 7mm Ecoply Barrier OR Tekton OR Tyvek, refer to manufacturers specifications attached	
<b>WALL FRAMING</b> Stud Height: 2420mm	
<b>FLOOR FINISHES</b> Carpet Vinyl Plank	
<b>WATER HEATING</b> Electric OR Gas	
<b>KITCHEN HOB</b> Gas Hob with Heat resistant splash back OR Electric Hob	
<b>DOORS</b> Internal Height: 1980mm Type: TBC Front Door Type: xxx	
<b>STAIRS</b> Treads - Risers -	

**STONWOOD HOMES**

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1B, Level 1, 303 Blenheim Rd  
Upper Riccarton, Christchurch 8041,  
New Zealand  
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Email: info@stonewood.co.nz  
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Signed:		Date:	
<b>FLOOR PLAN</b>			
Drawn By <b>Isha</b>	Checked By <b>XXXX XXXXX</b>	LBP # <b>XXXXXX</b>	
Standard Plan	Print Date <b>11/22/2019</b>	Sales <b>SHC</b>	Scale at A3 <b>1:100</b>
Avon 157 Gable	Version <b>A</b>	Revision <b>1</b>	Sheet <b>4</b>
Job Number <b>190069</b>	Version <b>A</b>	Revision <b>1</b>	Sheet <b>4</b>
Version: <b>CONCEPT</b>			OF <b>XX</b>



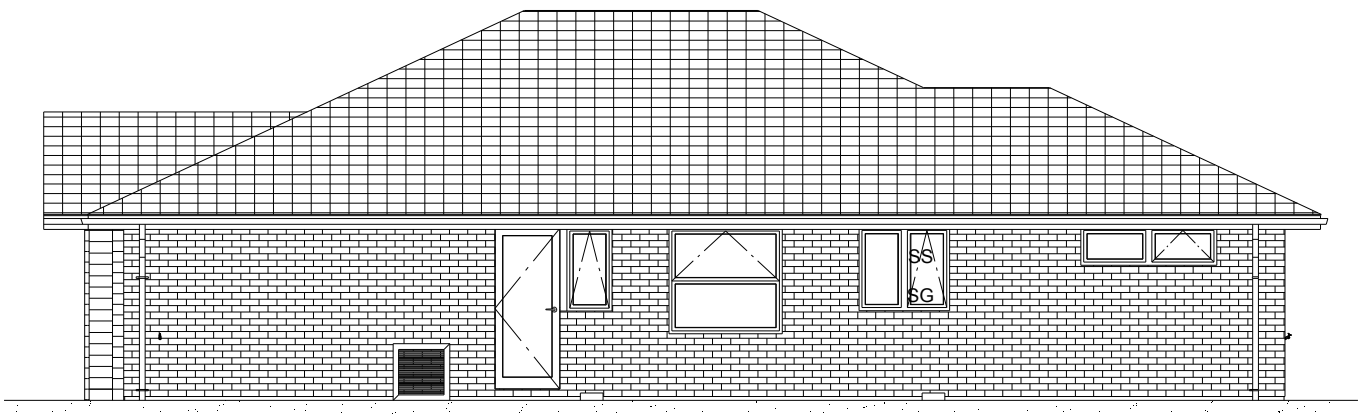
RISK MATRIX ASSESSMENT		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

GENERAL ELEVATION NOTES
Air Barrier to unlined wall and gables, refer to the Construction Schedule in the Specification for type.
This sheet to be read in conjunction with the Risk Matrix in specification.
Driveway to fall from 20mm max below garage rebates (By Others).
Key SS: Security Stay SG: Safety Glass



**A**  
4 **ELEVATION A**  
1:100

LEGEND
1 - 25° Pressed Tile
2 - 70 Series Brick over 60mm cavity
3 - Smoothboard
4 - Dimond Fascia and Gutter System
5 - Aluminum Joinery
6 - Colorsteel Downpipe's
7 - Meter Box
8 - Outdoor Heatpump Unit
9 - Terminal Vent



**B**  
4 **ELEVATION B**  
1:100

RISK MATRIX ASSESSMENT		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

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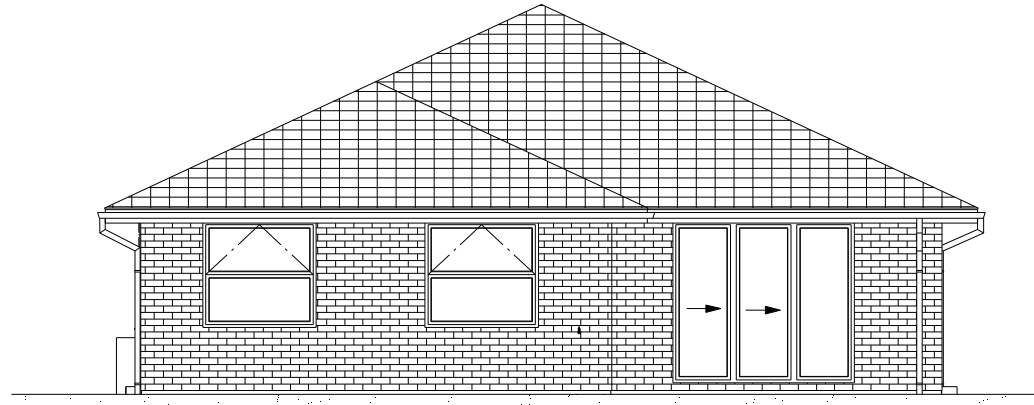
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Signed:	Date:		
ELEVATIONS			
Drawn By <b>Isha</b>	Checked By <b>XXXX XXXXX</b>	LBP # <b>XXXXXX</b>	
Standard Plan	Print Date <b>11/22/2019</b>	Sales <b>SHC</b>	Scale at A3 1:100
Job Number <b>190069</b>	Version <b>A</b>	Revision <b>1</b>	Sheet <b>5</b>
Version: <b>CONCEPT</b>			OF <b>XX</b>

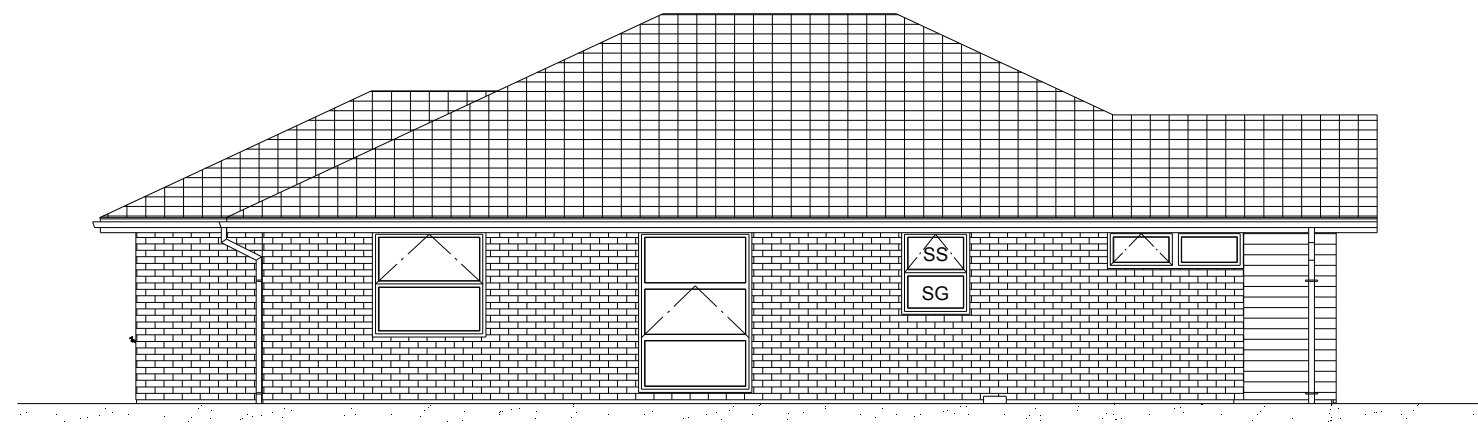
RISK MATRIX ASSESSMENT		
ELEVATION C		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

GENERAL ELEVATION NOTES
Air Barrier to unlined wall and gables, refer to the Construction Schedule in the Specification for type.
This sheet to be read in conjunction with the Risk Matrix in specification.
Driveway to fall from 20mm max below garage rebates (By Others).
Key SS: Security Stay SG: Safety Glass



**C**  
4  
**ELEVATION C**  
1:100

LEGEND
1 - 25° Pressed Tile
2 - 70 Series Brick over 60mm cavity
3 - Smoothboard
4 - Dimond Fascia and Gutter System
5 - Aluminum Joinery
6 - Colorsteel Downpipe's
7 - Meter Box
8 - Outdoor Heatpump Unit
9 - Terminal Vent



**D**  
4  
**ELEVATION D**  
1:100

RISK MATRIX ASSESSMENT		
ELEVATION D		
RISK CRITERIA	RISK	SCORE
Wind Zone	xxx	0
Number of Stories	xxx	0
Roof Wall Junction	xxx	0
Eaves Width	xxx	0
Building Envelope	xxx	0
Decks & Balconies	xxx	0
Total		XX

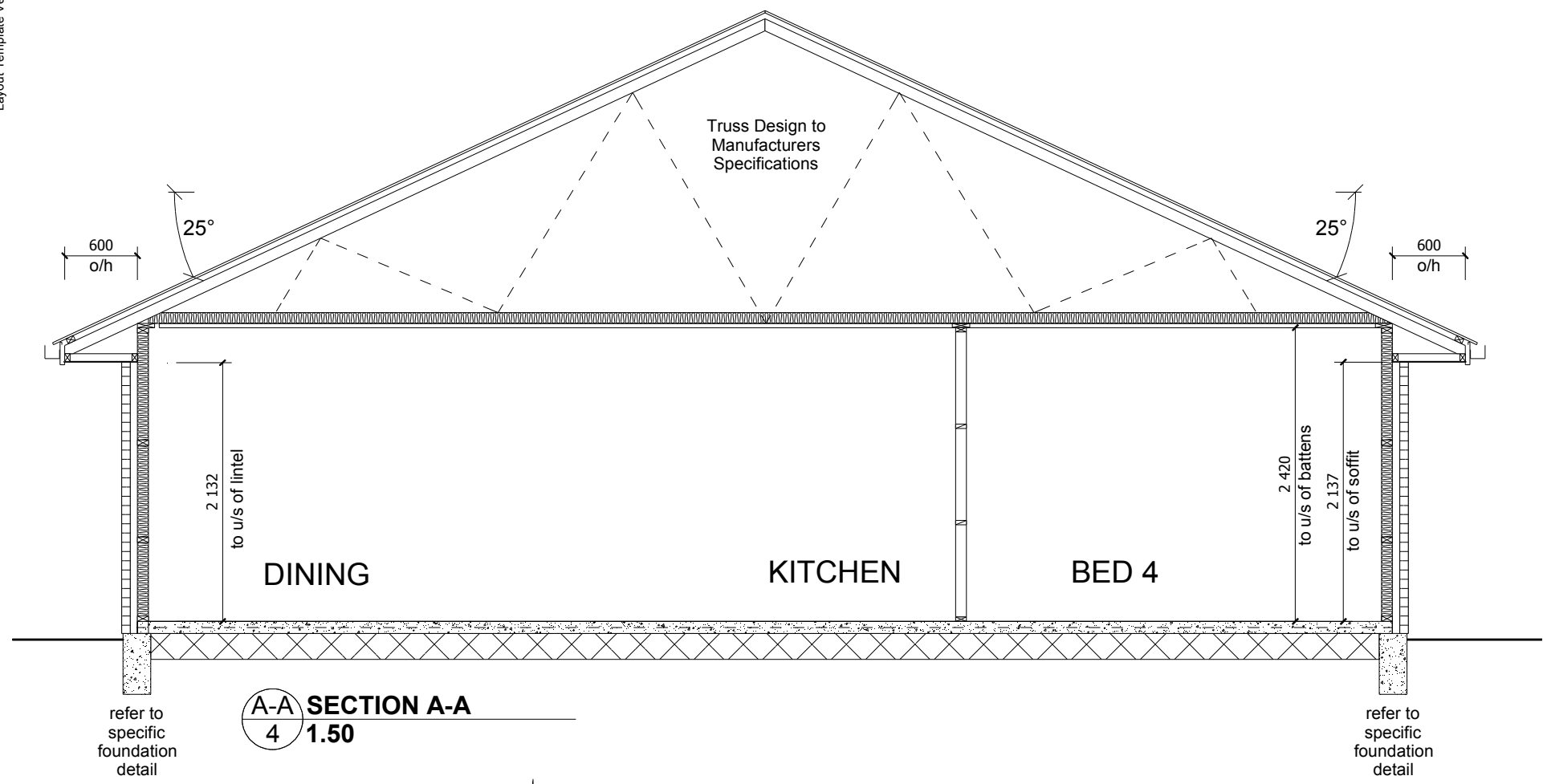
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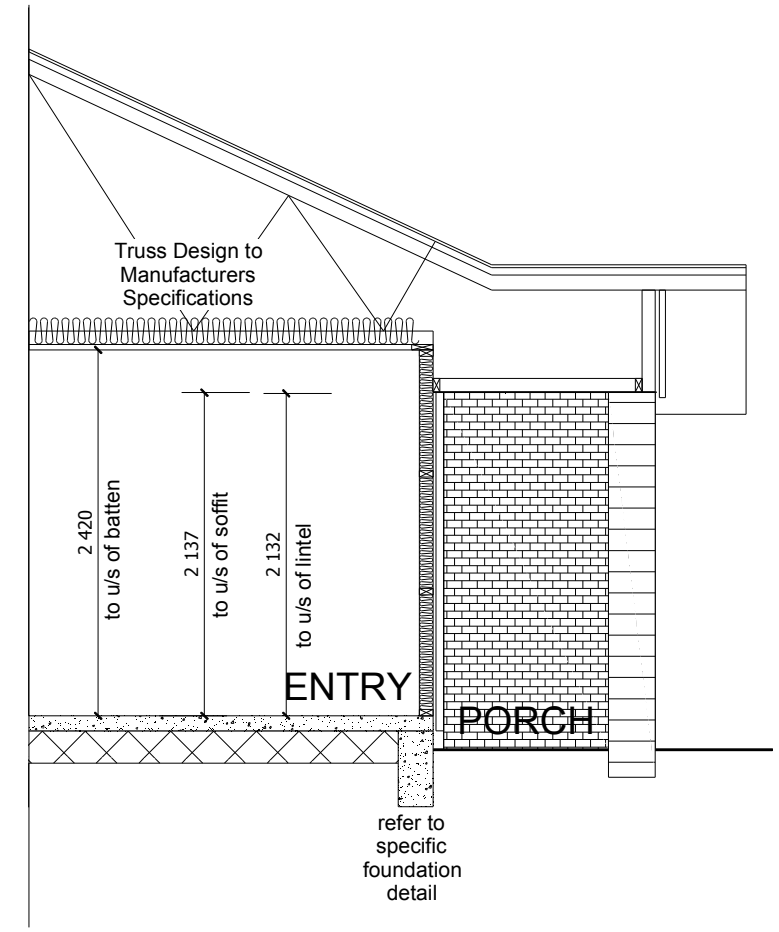
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Drawn By <b>Isha</b>	Checked By <b>XXXX XXXXX</b>	LBP # <b>XXXXXX</b>	
Standard Plan <b>Avon 157 Gable</b>	Print Date <b>11/22/2019</b>	Sales <b>SHC</b>	Scale at A3 1:100
Job Number <b>190069</b>	Version <b>A</b>	Revision <b>1</b>	Sheet <b>6</b>
Version: <b>CONCEPT</b>			OF <b>XX</b>



**A-A SECTION A-A**  
4 1.50

refer to specific foundation detail

refer to specific foundation detail



**B-B SECTION B-B**  
4 1.50

refer to specific foundation detail

<b>PROTECTION OF FIXINGS</b>
Fixings shall comply with NZS 3604:2011 Section 4 Durability Tables 4.1-4.3
<b>CONCRETE STRENGTH</b>
All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2
<b>TIMBER GRADE</b>
Timber members specified on these drawings are to be a minimum of SG8 strength graded as per NZS3604:2011

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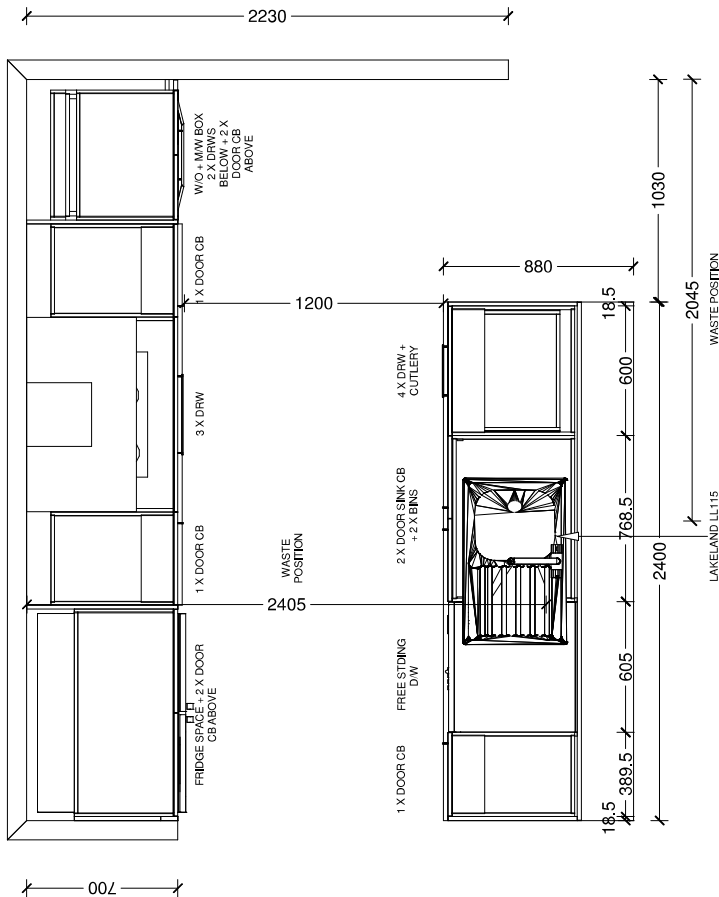
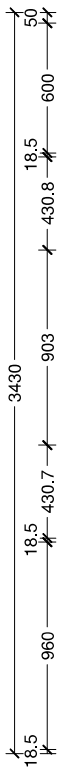
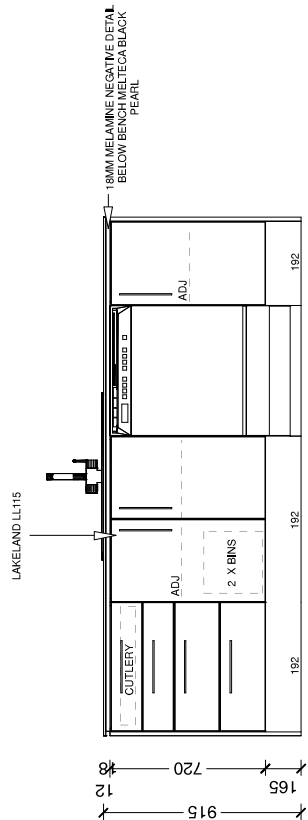
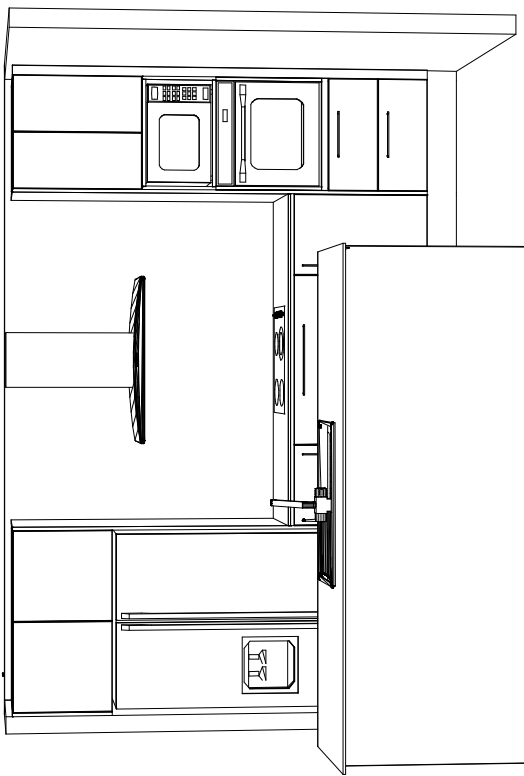
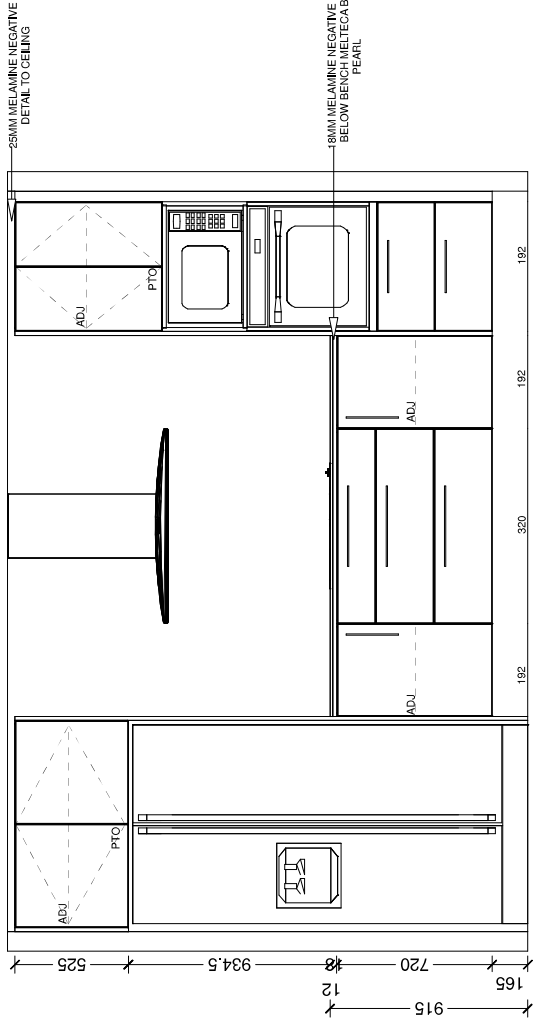
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GENERAL ELEVATION NOTES	
Refer to the Construction Schedule (Page 2 & 3) in the Specification for further information.	

INSULATION	
Wall -	Pink Batts R.... Wall Batts
Ceiling -	Pink Batts R.... Ceiling Batts

LEGEND	
1 -	
2 -	
3 -	
4 -	
5 -	
6 -	
7 -	
8 -	
9 -	
10 -	
11 -	
12 -	
13 -	
14 -	
15 -	

Signed:	Date:		
CROSS SECTION			
Drawn By <b>Isha</b>	Checked By <b>XXXX XXXXX</b>	LBP # <b>XXXXXX</b>	
Standard Plan	Print Date <b>11/22/2019</b>	Sales <b>SHC</b>	Scale at A3 <b>1:50</b>
Job Number <b>190069</b>	Version <b>A</b>	Revision <b>1</b>	Sheet <b>7</b>
Version: <b>CONCEPT</b>	OF <b>XX</b>		

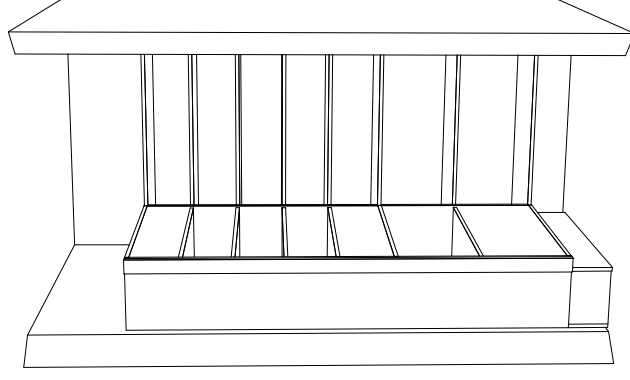
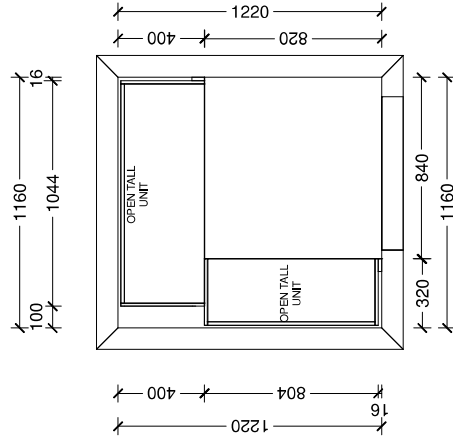
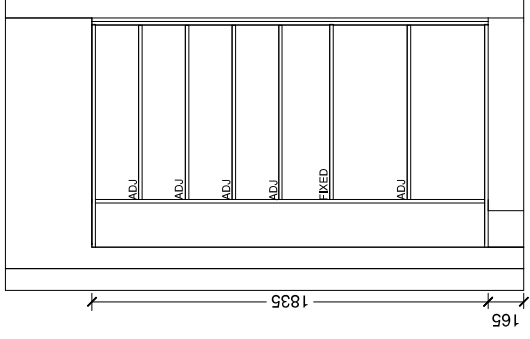
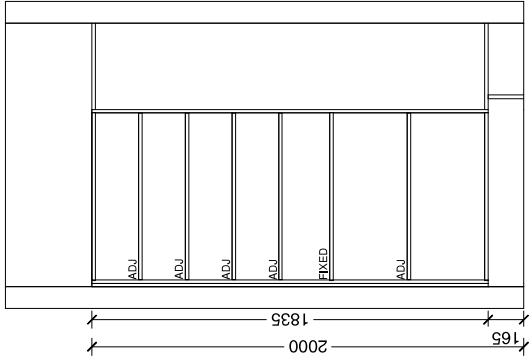


Designer: **Teresa** Date: **22 Aug 19** Client: **Stonewood Homes** BC Ref: **Job** Site Address:

Dwg: **XXXXXXXXXX** Rev: **XX** Customer: **The Avon Kitchen** Job#: **Default**

**TRENDS KITCHENS**

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Designer: Teresa

Date: 22 Aug 19

Client: Stonewood Homes

Site Address:

Job#: Default

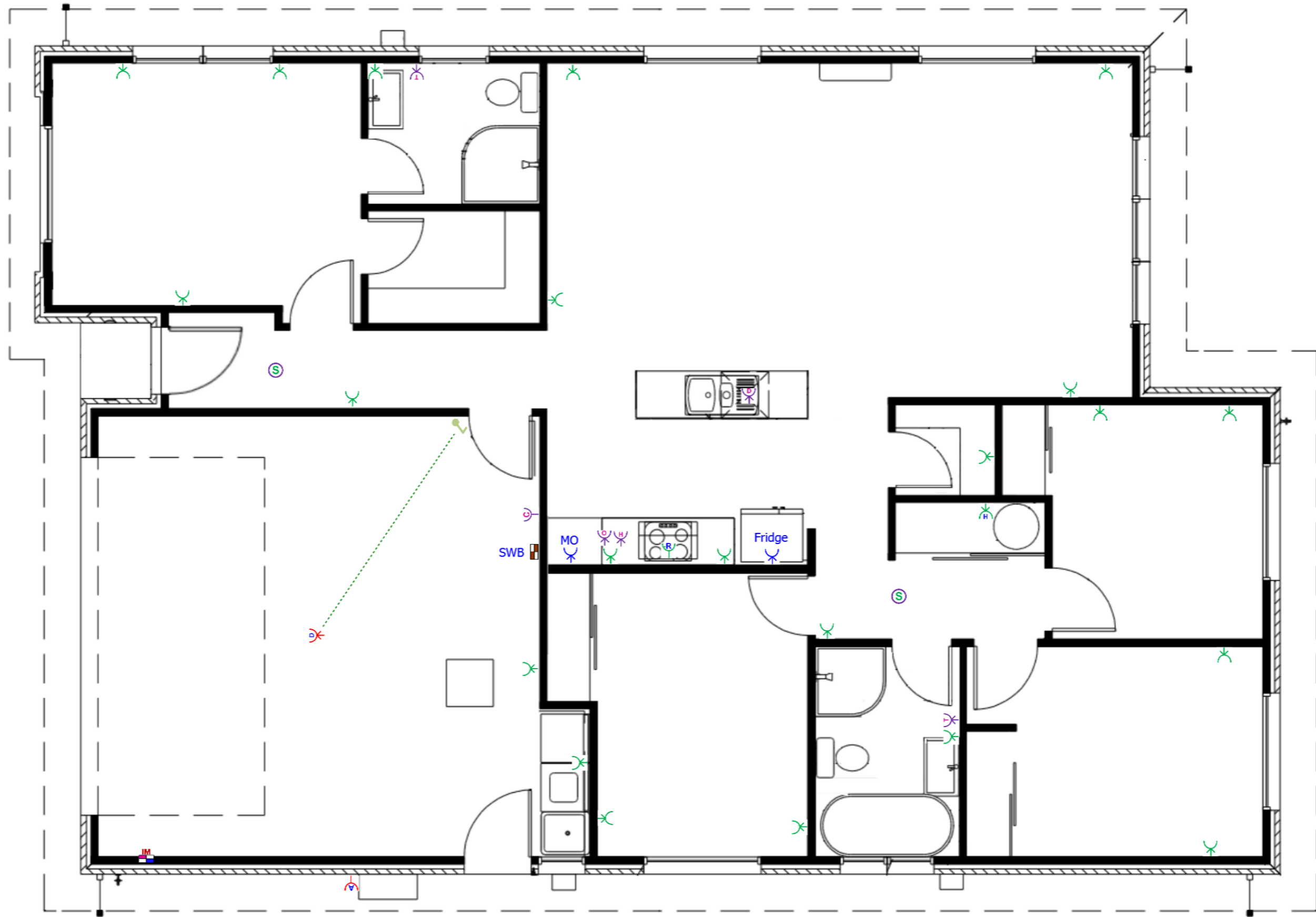
Dwg: xxxxxxxxxx

Rev: XX

Customer: The Avon Walk-In Pantry



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Electrical Power

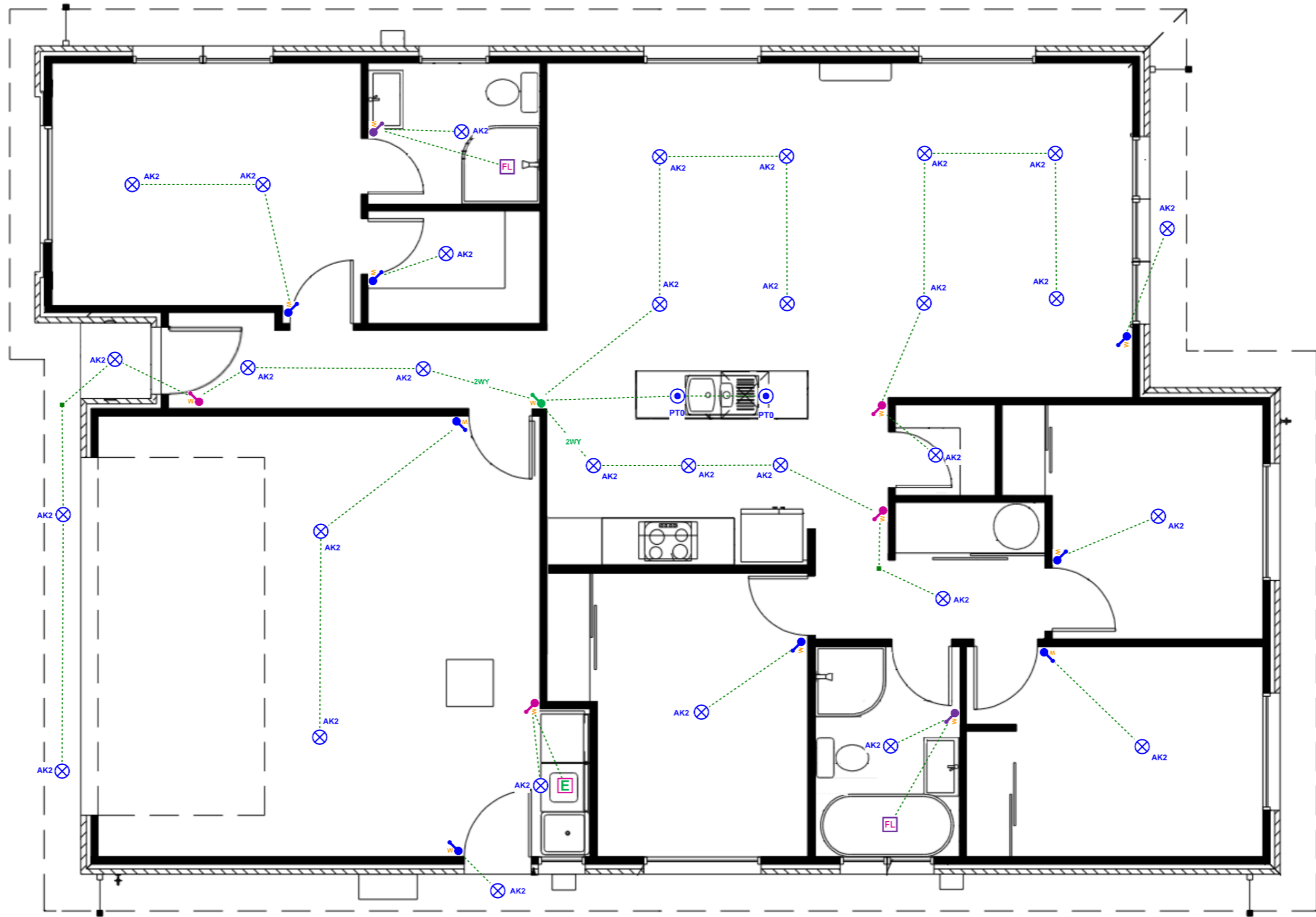
Stonewood Homes WPL - The Avon

Christchurch  
 PO Box 9302  
 Tower Junction  
 Christchurch

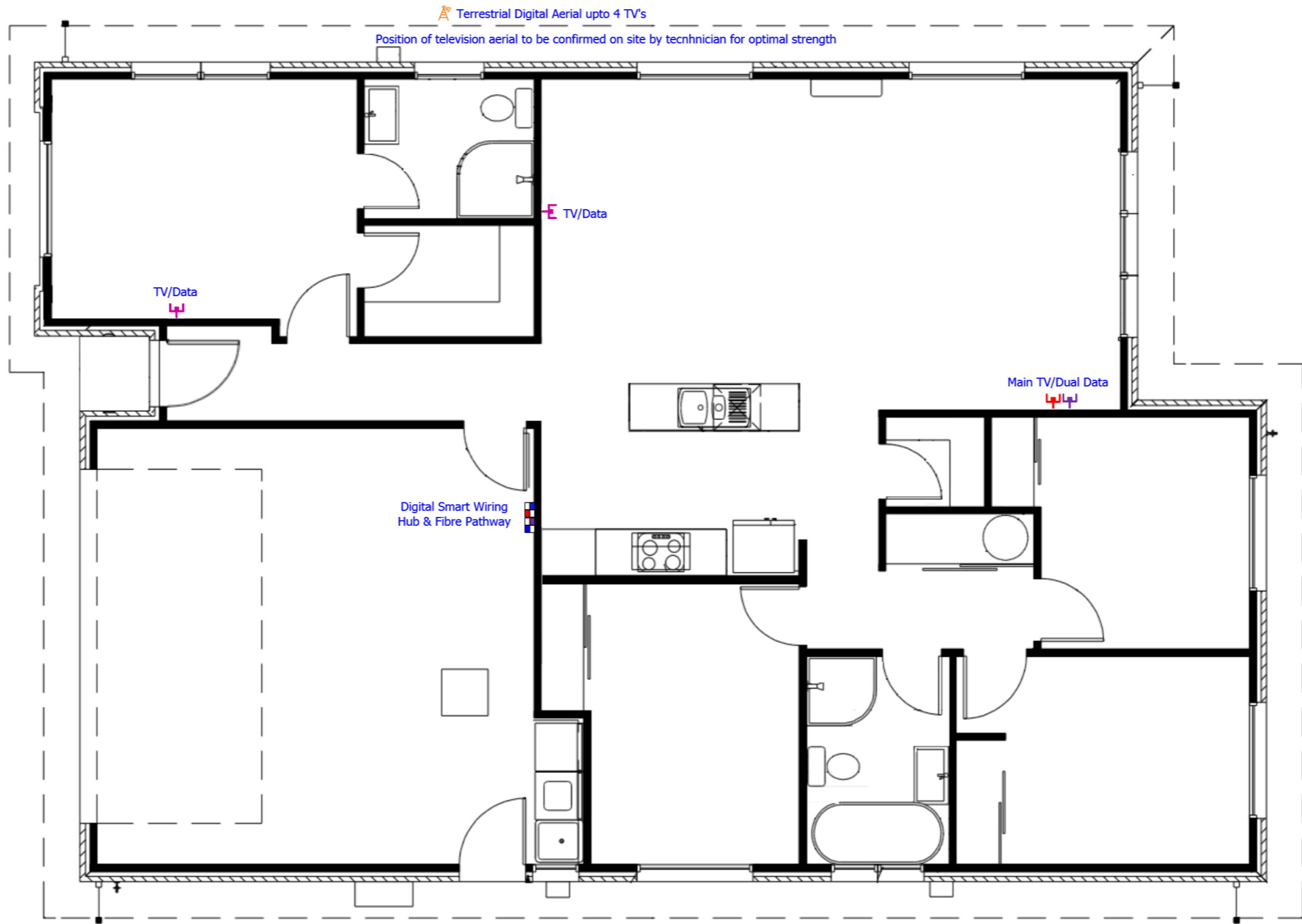
Phone: 03 338 4238  
 Fax: 03 338 4239  
 Web: smartsystems.net.nz  
 Email: info@smartsystems.net.nz

Designed by: Michael Gilbert

Drawing Not To Scale



Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Terrestrial Digital Aerial upto 4 TV's  
 Position of television aerial to be confirmed on site by technician for optimal strength

Main TV/Dual Data

Digital Smart Wiring Hub & Fibre Pathway

TV/Data

TV/Data

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Structured Cabling

Stonewood Homes WPL - The Avon

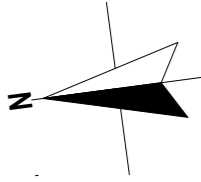
Christchurch  
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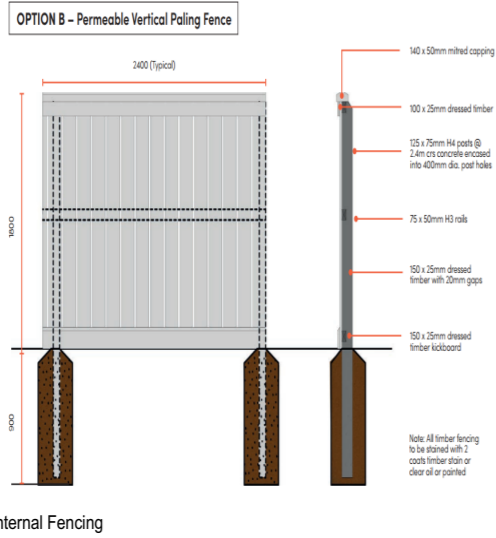
Designed by: Michael Gilbert

Drawing Not To Scale

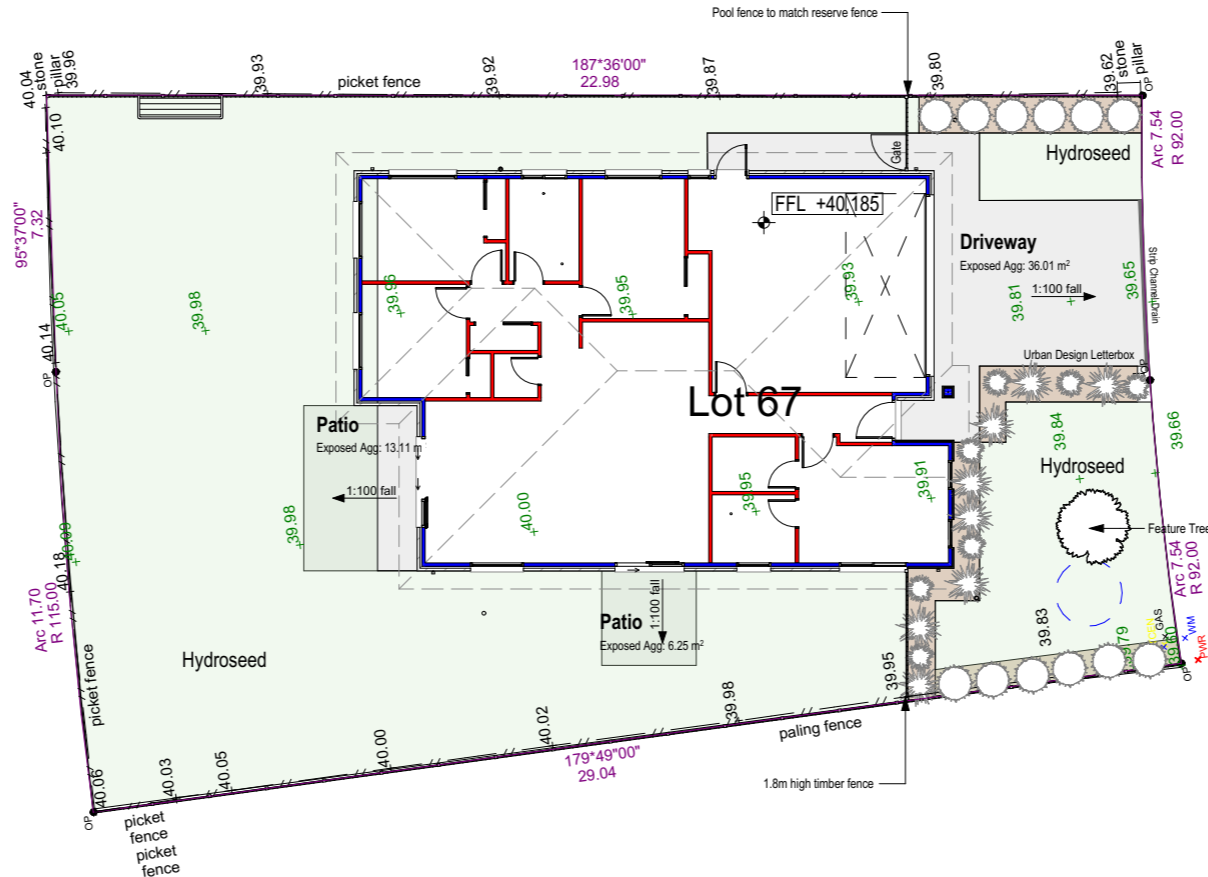




Proposed Landscaping



Letter box



Phormium Dark Delight



Griselinia Littoralis



All planting in mulch bark

TOBOLLIE DRIVE



Landscaping Plan

1:200

S:\Investment Portfolio\Faringdon Green\Lot 67 Faringdon Green GJEK 190069\Archicad\Lot 67 Faringdon Green.pln 5/03/2020 Michael.McFie

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

<p><b>STONEWOOD HOMES</b></p> <p>© Stonewood Homes        PHONE: (03) 354 2344   FAX: (03) 354 2322        ADDRESS: 11 Jipcho Road, Wigram        WEB: www.stonewood.co.nz</p>	<p>JOB TITLE: <b>GJEK Properties Limited</b></p>	<p>DRAWING TITLE: <b>Landscaping Plan</b></p>	<p>LEGAL DESCRIPTION:        LOT: 67 DP:        Faringdon Green        Rolleston</p>	<p>NOTES:        - Subject to council approval        - All measurements to be confirmed on site by the contractor prior to the commencement of work</p> <p>© Stonewood Homes        All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Stonewood Homes.</p>	<p>DATE OF ISSUE: 18/12/2019</p> <p>AMENDMENT DATE: 21/02/2020</p>	<p>DESIGNER: Michael</p> <p>TECHNICIAN: Michael</p> <p>VERSION: 4</p> <p>CODE:</p>	<p>SCALE: 1:200</p> <p>JOB # 190069</p>	<p>SHEET: <b>A1.02</b></p>
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